



# CITY *of* CLOVIS

## AGENDA • CITY COUNCIL MEETING

Council Chamber, 1033 Fifth Street, Clovis, CA 93612 (559) 324-2060  
[www.cityofclovis.com](http://www.cityofclovis.com)

September 12, 2022

6:00 PM

Council Chamber

In compliance with the Americans with Disabilities Act, if you need special assistance to access the City Council Chamber to participate at this meeting, please contact the City Clerk or General Services Director at (559) 324-2060 (TTY – 711). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the Council Chamber.

The Clovis City Council meetings are open to the public at the physical address listed above. There are numerous ways to participate in the City Council meetings: you are able to attend in person; you may submit written comments as described below; you may participate by calling in by phone (see “Verbal Comments” below); and you may view the meeting which is webcast and accessed at [www.cityofclovis.com/agendas](http://www.cityofclovis.com/agendas).

### **Written Comments**

- Members of the public are encouraged to submit written comments at: [www.cityofclovis.com/agendas](http://www.cityofclovis.com/agendas) at least two (2) hours before the meeting (4:00 p.m.). You will be prompted to provide:

- Council Meeting Date
- Item Number
- Name
- Email
- Comment



- Please submit a separate form for each item you are commenting on.
- A copy of your written comment will be provided to the City Council noting the item number. If you wish to make a verbal comment, please see instructions below.
- Please be aware that any written comments received that do not specify a particular agenda item will be marked for the general public comment portion of the agenda.
- If a written comment is received after 4:00 p.m. on the day of the meeting, efforts will be made to provide the comment to the City Council during the meeting. However, staff cannot guarantee that written comments received after 4:00 p.m. will be provided to City Council during the meeting. All written comments received prior to the end of the meeting will be made part of the record of proceedings.

## **Verbal Comments**

- If you wish to speak to the Council on an item by telephone, you should contact the City Clerk at (559) 324-2060 no later than 4:00 p.m. the day of the meeting.
- You will be asked to provide your name, phone number, and your email. You will be emailed instructions to log into Webex to participate in the meeting. Staff recommends participants log into the Webex at 5:30 p.m. the day of the meeting to perform an audio check.
- All callers will be placed on mute, and at the appropriate time for your comment your microphone will be unmuted.
- In order for everyone to be heard, please limit your comments to 5 minutes or less, or 10 minutes per topic

## **Webex Participation**

- Reasonable efforts will be made to allow written and verbal comment from a participant communicating with the host of the virtual meeting. To do so, a participant will need to chat with the host and request to make a written or verbal comment. The host will make reasonable efforts to make written and verbal comments available to the City Council. Due to the new untested format of these meetings, the City cannot guarantee that these written and verbal comments initiated via chat will occur. Participants desiring to make a verbal comment via chat will need to ensure that they accessed the meeting with audio transmission capabilities.

## **CALL TO ORDER**

### **FLAG SALUTE - Councilmember Bessinger**

## **ROLL CALL**

## **PRESENTATIONS/PROCLAMATIONS**

1. Presentation of Certificates of Recognition to Students Receiving American Legion Boys and Girls State Awards.
2. Presentation by Fresno County Economic Development Corporation on Services Provided to the City of Clovis.

**PUBLIC COMMENTS** - This is an opportunity for the members of the public to address the City Council on any matter within the City Council's jurisdiction that is not listed on the Agenda. In order for everyone to be heard, please limit your comments to 5 minutes or less, or 10 minutes per topic. Anyone wishing to be placed on the Agenda for a specific topic should contact the City Manager's office and submit correspondence at least 10 days before the desired date of appearance.

**ORDINANCES AND RESOLUTIONS** - With respect to the approval of resolutions and ordinances, the reading of the title shall be deemed a motion to waive a reading of the complete resolution or ordinance and unless there is a request by a Councilmember that the resolution or ordinance be read in full, further reading of the resolution or ordinance shall be deemed waived by unanimous consent of the Council.

**CONSENT CALENDAR** - Items considered routine in nature are to be placed upon the Consent Calendar. They will all be considered and voted upon in one vote as one item unless a Councilmember requests individual consideration. A Councilmember's vote in favor of the Consent Calendar is considered and recorded as a separate affirmative vote in favor of each action listed. Motions in favor of adoption of the Consent Calendar are deemed to include a motion to waive the reading of any ordinance or resolution on the Consent Calendar. For adoption of ordinances, only those that have received a unanimous vote upon introduction are considered Consent items.

- [3.](#) Administration - Approval - Minutes from the August 1, 2022, Council Meeting.
- [4.](#) Administration – Adopt – Ord. 22-07, Amending various sections of the Clovis Municipal Code relating to the quadrant intersection development fee. (Vote: 5-0)
- [5.](#) Administration – Approval – Res. 22-\_\_\_\_, Amending the Conflict of Interest Code list of Designated Employees.
- [6.](#) Administration - Receive and File – Economic Development Corporation Serving Fresno County Quarterly Report, April - June 2022.
- [7.](#) Administration - Approval – FY 2022-23 Agreement between the City of Clovis and the Economic Development Corporation Serving Fresno County.
- [8.](#) Administration - Approval – Res. 22-\_\_\_\_, A Resolution authorizing the City Manager to approve the sales of mobile homes obtained through California's CalHome Program, and other state and/or federal affordable housing programs, and to execute all necessary documents to effectuate the sales.
- [9.](#) Finance – Receive and File – Investment Report for the Month of May 2022.
- [10.](#) Finance – Receive and File – Treasurer's Report for the Month of May 2022.
- [11.](#) General Services – Approval - Claim Rejection of the General Liability Claim on behalf of Cynthia Enns, Elwood Enns, and the Estate of Carson Warren Enns.
- [12.](#) General Services – Approval – Res. 22-\_\_\_\_, Authorizing Amendments to the Senior Systems Video Analyst Classification in the Police Department.
- [13.](#) Planning and Development Services – Approval – Res. 22-\_\_\_\_, Final Map Tract 6389, located in the southwest area of Loyola and North De Wolf Avenues (Granville Homes).
- [14.](#) Planning and Development Services - Approval – Res. 22-\_\_\_\_, Annexation of Proposed Tract 6389, located in the southwest area of Loyola and North De Wolf Avenues to the Landscape Maintenance District No. 1 of the City of Clovis (Granville Homes).
- [15.](#) Planning and Development Services – Approval – Bid Award for CIP 17-21 Well 35 Drilling and Development; and Authorize the City Manager to execute the contract on behalf of the City.
- [16.](#) Planning and Development Services – Approval - Res. 22-\_\_\_\_, Amending the 2022-2023 Community Investment Program (CIP) budget and authorizing the execution of a real property purchase agreement for property located at 2791 Serena Avenue.

**PUBLIC HEARINGS** - A public hearing is an open consideration within a regular or special meeting of the City Council, for which special notice has been given and may be required. When a public hearing is continued, noticing of the adjourned item is required as per Government Code 54955.1.

- [17.](#) Consider Approval – Res. 22-\_\_\_\_, Adoption of the City of Clovis 2021-2022 Consolidated Annual Performance and Evaluation Report (CAPER) for expenditure of Community Development Block Grant Funds.

**Staff:** Claudia Cazares, Management Analyst  
**Recommendation:** Approve

18. Consider Various Options Regarding the Creation of a Historic Preservation Board:
- a. Establish a temporary committee that would assess historic resources in the City of Clovis and provide recommendations to City Council on the protection of those identified resources;
  - b. Consider Introduction – Ord. 22-\_\_\_\_, An Ordinance of the City Council of the City of Clovis adding Chapter 9.81 of Title 9 of the Clovis Municipal Code creating a Historic Preservation Board;
  - c. Take no action at this time.

**Staff:** Andrew Haussler, Assistant City Manager / Renee Mathis, Director of Planning and Development Services

**Recommendation:** Consider options and provide staff policy direction

19. Consider items associated with approximately 310 acres of land bound by Leonard Avenue on the west, Thompson Avenue on the east, Gettysburg Avenue on the north, and Ashlan Avenue on the south. The Home Place Holdings, LLC Applicant, 4Creeks Inc. Representative; Sayre M. Miller, Trustee of the Sayre M. Miller Revocable Trust dated November 27, 2001, et. al., Owner. **(To be continued to September 19, 2022)**

a. Consider Introduction – Ord. 22-\_\_\_\_, Rezone 2021-001 and R2021-003, A request to establish a Master Plan Community (MPC) Overlay District in conjunction with Home Place Master Plan and a request to prezone properties within the boundaries of the Home Place Master Plan to a combination of base zone districts to implement the land uses identified in the Home Place Master Plan.

b. Consider Approval – Res. 22-\_\_\_\_, TM 6364, A request for a master tentative tract map to create approximately 1,174 new residential lots.

c. Consider Approval – Res. 22-\_\_\_\_, PDP 2022-002, A request for a planned development permit to establish development standards and criteria for the proposed Tract Map 6364.)

**Staff:** Dave Merchen, City Planner

**Recommendation:** Continue

20. Consider Approval - Res. 22-\_\_\_\_, RO304, A Resolution of Application for the Annexation of the territory known as the Home Place – Gettysburg Leonard Southeast Reorganization encompassing approximately 304 acres of land generally bound by Leonard Avenue on the west, Thompson Avenue on the east, Gettysburg Avenue on the north, and Ashlan Avenue on the south. The Home Place Holdings, LLC Applicant; Sayre M. Miller, Trustee of the Sayre M. Miller Revocable Trust dated November 27, 2001, et. al., Owner. **(To be continued to September 19, 2022)**

**Staff:** Dave Merchen, City Planner

**Recommendation:** Continue

21. Consider items associated with approximately 4.45 acres of land located at the southeast corner of Armstrong and Gettysburg Avenues. Gary McDonald Homes/Gleneagles Homes, property owner/applicant; Harbour & Associates, representative. **(Mayor Pro Tem Ashbeck has a conflict of interest on this item)**

a. Consider Approval - Res. 22-\_\_\_\_, TM6403, A request to approve a vesting tentative tract map for a 15-lot single-family subdivision on approximately 4.45 acres of land.

b. Consider Approval - Res. 22-\_\_\_\_, PDP2022-001, A request to approve a planned development permit to allow deviations from the R-1-B (Single-Family Residential – 12,000 Sq. Ft.) Zone District residential development standards associated with TM6403.

**Staff:** George González, Senior Planner

**Recommendation:** Approve

## **CITY MANAGER COMMENTS**

## **COUNCIL COMMENTS**

**CLOSED SESSION** - A “closed door” (not public) City Council meeting, allowed by State law, for consideration of pending legal matters and certain matters related to personnel and real estate transactions.

22. Government Code Section 54956.9(d)(2)

**CONFERENCE WITH LEGAL COUNSEL - ANTICIPATED LITIGATION**

Significant Exposure to Litigation

Four potential cases based on claims received for the Sunnyside Avenue water main break and property flooding incident on January 3, 2022.

## **ADJOURNMENT**

## **MEETINGS AND KEY ISSUES**

Regular City Council Meetings are held at 6:00 P.M. in the Council Chamber. The following are future meeting dates:

Sep. 19, 2022 (Mon.)

Oct. 3, 2022 (Mon.)

Oct. 10, 2022 (Mon.)

Oct. 17, 2022 (Mon.)

**CLOVIS CITY COUNCIL MEETING**

**August 1, 2022**

**6:00 P.M.**

**Council Chamber**

Meeting called to order by Mayor Flores at 6:02  
Flag Salute led by Councilmember Ashbeck

Roll Call: Present: Councilmembers Ashbeck, Bessinger, Mouanoutoua, Whalen  
Mayor Flores

**PRESENTATION – 6:04**

6:04 – ITEM 1 - PRESENTATION INTRODUCING THE NEW SALVATION ARMY OFFICER, KAILAH KIM.

Shonna Halterman, General Services Director, introduced Kailah Kim, the new local Salvation Army officer.

Kailah Kim, Salvation Army Officer, shared information on the purpose of the Salvation Army, the communities that they serve, and her goals in serving the Clovis community.

6:07 – ITEM 2 - PRESENTATION OF PROCLAMATION RECOGNIZING THE WEEK OF AUGUST 7-13, 2022, AS INTERNATIONAL ASSISTANCE DOG WEEK.

The City Council presented a proclamation recognizing the week of August 7-13, 2022, as International Assistance Dog Week.

Edward Crane, representative, shared that the goal of International Assistance Dog Week is to recognize and honor assistance dogs around the world. It is also to create awareness and educate people on the importance of assistance dogs and their critical role in supporting their owners. He also shared his personal experience with service dogs and his current dog named Zern.

**PUBLIC COMMENTS – 6:13**

Marcus Alvara, resident, commented on his experience with service dogs and the work that is being done with the Canine Partners for Life organization that trains service dogs. He then shared complaints regarding illegal dumping of trash in his neighborhood. He also commented on the firing range near his home and the excessive noise coming from the business. Marcus shared his frustrations that the City has not done anything about his complaints since his prior visits to the Council meetings.

John Holt, City Manager, commented that he visited the neighborhood recently and City staff has done the same several times since the complaints were received, and they were not able to substantiate any of Marcus' allegations.

Dominique, resident, shared her experiences with the Clovis Police Department in providing her support through her mental health journey. She also commented on the homelessness in Clovis and shared that she has been engaging with homeless individuals to help them find available resources. She asked the Council if the City is doing anything to help the homeless people in Clovis.

Mayor Flores shared with Dominique that the Clovis Police Department has a Chaplaincy program to help the homeless and that the City's transit service provides free transportation. City staff provided Dominique with the contact information for a Chaplain with the Clovis Police Department.

**CONSENT CALENDAR – 6:29**

Councilmember Whalen indicated that he would abstain from voting on Item 18 as he is a Judge Elect and is bound by Canon 5 of the California Code of Judicial Ethics where a judge or candidate for judicial office shall not engage in political or campaign activity that is inconsistent with the independence, integrity, or impartiality of the judiciary.

Motion by Councilmember Ashbeck, seconded by Councilmember Bessinger, that the items on the Consent Calendar, with the exception of Item 18, be approved. Motion carried by unanimous vote.

*During the City Manager's Comments at 7:32 p.m., City Manager John Holt indicated that Councilmember Mouanoutoua has a conflict of interest with Item 16, therefore the Consent Calendar will need a revote to exclude Item 16. The Council will need to vote on Item 16 separately to allow Councilmember Mouanoutoua to abstain from voting on the item.*

Revised motion by Councilmember Ashbeck, seconded by Councilmember Bessinger, that the items on the Consent Calendar, with the exception of Items 16 and 18, be approved. Motion carried by unanimous vote.

3. Administration - Approved - Minutes from the July 18, 2022, Council Meeting.
4. Administration - Approved – Agreement Between City of Clovis and the Business Organization of Old Town for Fiscal Year 2022-2023.
5. Administration - Received and Filed – Business Organization of Old Town (BOOT) Fourth Quarter Report, April through June 2022.
6. Finance – Received and Filed – Investment Report for the Month of April 2022.
7. Finance – Receive and File – Treasurer's Report for the Month of April 2022.
8. Fire – Approved – **Res. 22-87**, Confirming Weed and Rubbish Abatement Charges for 2022.
9. Fire - Approved – **Res. 22-88**, Amending the 2022-2023 FY Fire Department Budget to reflect the \$31,000 awarded in 2021 State Homeland Security Grant Program (SHSGP) to fund Fire Department equipment.
10. General Services – Approved - Claim Rejection of the General Liability Claim on behalf of Melanie Villagomez.

11. General Services – Approved – **Res. 22-89**, Authorizing Amendments to the Communications Supervisor Classification in the Police Department.
12. General Services – Approved – **Res. 22-90**, Amending the City’s Classification and Compensation Plan by Revising and Retitling the Community & Economic Development Director to the Economic Development, Housing and Communications Director, and Approved – **Res. 22-91**, Amending the Position Allocation Plan within the Administration Department.
13. Planning and Development Services - Approved – Final Acceptance for CIP 20-09 Sewer Replacement 2020.
14. Planning and Development Services - Approved - Final Acceptance for CIP 19-03 Hydronic Piping Replacement.
15. Planning and Development Services - Approved – Bid Award for CIP 18-15, Villa Avenue Reconstruction – Barstow to Shaw; and authorize the City Manager to execute the contract on behalf of the City.
17. Planning and Development Services – Approved – Bid Award for CIP 21-03, Villa Avenue Street Improvements; and Authorize the City Manager to Execute the Contract on behalf of the City.
19. Public Utilities – Approved – Enter into a Contract with Stantec Consulting Services, Inc. to Provide Consulting Services for Evaluation and Long-Range Planning of the Surface Water Treatment Plant.
16. Planning and Development Services – Approved – Bid Award for CIP 21-16, Ashlan Avenue Street Improvements; and Authorize the City Manager to Execute the Contract on behalf of the City.

Motion for approval by Councilmember Ashbeck, seconded by Councilmember Whalen.  
Motion carried 4-0-0-1, with Councilmember Mouanoutoua abstaining.

18. Planning and Development Services - Approved – **Res. 22-92**, Supporting the Measure C Renewal Expenditure Plan.

Motion for approval by Councilmember Ashbeck, seconded by Councilmember Bessinger.  
Motion carried 4-0-0-1, with Councilmember Whalen abstaining.

**PUBLIC HEARINGS – 6:31**

6:31 – ITEM 20 - APPROVED OF ITEMS ASSOCIATED WITH QUADRANT INTERSECTIONS ALONG THE HERNDON AVENUE CORRIDOR.

- 20A. APPROVED - **RES. 22-93**, ELIMINATION OF THE IMPLEMENTATION OF THE PROPOSED QUADRANT INTERSECTIONS AT HERNDON AVENUE WITH WILLOW AND PEACH AVENUES, AND

Motion for approval by Councilmember Ashbeck, seconded by Councilmember Bessinger.  
Motion carried by unanimous vote.



- 20B. APPROVED INTRODUCTION – **ORD. 22-07**, AMENDING VARIOUS SECTIONS OF THE CLOVIS MUNICIPAL CODE RELATING TO THE QUADRANT INTERSECTION DEVELOPMENT FEE.

Motion for approval by Councilmember Ashbeck, seconded by Councilmember Bessinger.  
Motion carried by unanimous vote.

**ADMINISTRATIVE ITEMS – 6:49**

- 6:49 – ITEM 21 - APPROVED – **RES. 22-94**, ADOPTING THE CLOVIS FIRE DEPARTMENT MASTER SERVICES PLAN.

Motion for approval by Councilmember Ashbeck, seconded by Councilmember Bessinger.  
Motion carried by unanimous vote.

- 7:21 – ITEM 22 - APPROVED– **RES. 22-95**, ADOPTING AMENDMENTS TO THE EXECUTIVE MANAGEMENT SALARY SCHEDULE.

Motion for approval by Councilmember Whalen, seconded by Councilmember Bessinger.  
Motion carried by unanimous vote.

**COUNCIL ITEMS – 7:24**

- 7:24 – ITEM 23 - APPROVED – DESIGNATION OF VOTING DELEGATE AND ALTERNATE FOR THE LEAGUE OF CALIFORNIA CITIES’ ANNUAL CONFERENCE AND BUSINESS MEETING ON SEPTEMBER 7-9, 2022. **7:21 p.m. Approved 5-0**

Motion to approve the designation of Mayor Flores as the Voting Delegate and Councilmember Mouanoutoua as the Alternate by Councilmember Ashbeck, seconded by Councilmember Whalen. Motion carried by unanimous vote.

Motion to approve the opposition of Prop 26 and Prop 27 by Councilmember Ashbeck, seconded by Councilmember Whalen. Motion carried by unanimous vote.

**CITY MANAGER COMMENTS – 7:32**

John Holt, City Manager, indicated that Councilmember Mouanoutoua has a conflict of interest with Item 16, therefore the Consent Calendar will need a revote to exclude Item 16. The Council will need to vote on Item 16 separately to allow Councilmember Mouanoutoua to abstain from voting on the item.

**COUNCIL COMMENTS – 7:35**

**CLOSED SESSION – 7:40**

ITEM 24 - GOVERNMENT CODE SECTION 54956.8 CONFERENCE WITH REAL PROPERTY NEGOTIATORS PROPERTIES: 8761 E. BARSTOW AVE (APN 554-052-26), 1589 MENLO AVE (APN 491-140-30S) AGENCY NEGOTIATORS: JOHN HOLT, SCOTT REDELFS, ANDREW HAUSSLER, RENEE MATHIS NEGOTIATING PARTIES: DARLENE A. MILLHOLLIN TRUSTEE, JANET STOCKTON TRUSTEE, JANET STOCKTON UNDER NEGOTIATION: PRICE & TERMS

ITEM 25 - GOVERNMENT CODE SECTION 54956.8 CONFERENCE WITH REAL PROPERTY NEGOTIATORS PROPERTY: 2791 SERENA AVE. AGENCY NEGOTIATORS: JOHN HOLT, MIKE HARRISON, ANDREW HAUSSLER NEGOTIATING PARTIES: LEGACY BUILDING COMPANY, BY WATHEN UNDER NEGOTIATION: PRICE & TERMS

Mayor Flores adjourned the meeting of the Council to September 6, 2022

Meeting adjourned: 8:15 p.m.

---

Mayor

---

City Clerk



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council  
FROM: Administration  
DATE: September 12, 2022  
SUBJECT: Administration – Adopt – Ord. 22-07, Amending various sections of the Clovis Municipal Code relating to the quadrant intersection development fee. (Vote: 5-0)

ATTACHMENTS:

This item was approved for introduction on August 1, 2022, with a unanimous vote.

Please direct questions to the City Manager's office at 559-324-2060.



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: September 12, 2022

SUBJECT: Administration – Approval – Res. 22-\_\_\_\_, Amending the Conflict of Interest Code list of Designated Employees.

ATTACHMENTS: 1. Conflict of Interest Code and Disclosure Categories  
2. Res. 22-\_\_\_\_, Proposed amendments to the Conflict of Interest list of Designated Employees

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

That the City Council approve a resolution amending the Conflict of Interest Code for Designated Employees.

### **EXECUTIVE SUMMARY**

The Political Reform Act requires that the City review its local conflict of interest code to determine if amendments are necessary every two years. Staff is proposing amendments to the list of designated employees.

### **BACKGROUND**

The City is required to adopt a local conflict of interest code to address employees that might be subject to outside influences but are not State designated filers. State designated filers include, in addition to the Council and Planning Commissioners, the City Manager, City Attorney, and City Treasurer.

The City is permitted to adopt the State Guidelines as its local conflict of interest code, in which case the City only needs to designate employees subject to the code and reportable interest for those employees (2 Cal. Code Regs. § 18730). Reportable interests generally fall into the following categories: real property, investments, business positions, sources of income, gifts, loans, and travel payments.

In 1994, the City Council adopted Resolution 94-130 that incorporated by reference the State Guidelines as its local conflict of interest code, along with the designation of employees and the

formulation of disclosure categories. In conducting the biennial review, staff determined that it is appropriate to update the list of employees.

In accordance with Government Code Section 87306, a report must be submitted to the City Council identifying any changes in the code, including but not limited to, all new positions and changes in the list of reportable interests. The updated list of designated employees to add or change the title of several positions is included in Attachment 2A.

### Disclosure Categories

The City's existing local conflict of interest code contains seven categories based upon the employees' responsibilities. Below is a summary of these categories and the disclosure responsibilities for employees that fall within that category:

Category 1: Broad Responsibilities: Full Disclosure. Employees disclose all reportable interests, including investments, business positions, sources of income, loans, gifts, including travel payments, and real property as required by the FPPC Guidelines. Additionally, the real property category is expanded to include property located within a two-mile radius of the City or any property owned or used by the City.

Category 2: City-Wide Purchasing Approval Responsibilities. Employees disclose interest in investments, business positions, income, loans and gifts from sources that provide services, supplies, materials, machinery, or equipment of the type utilized by the City.

Category 3: Department/Division Purchasing Approval Responsibilities. Employees disclose interest in investments, business positions, income, loans and gifts from sources that provide services, supplies, materials, machinery, or equipment of the type utilized by the designated employee's department or division.

Category 4: Regulatory Power. Employees disclose interest in investments, business positions, income, loans and gifts from any source that is subject to the regulatory, permit, or licensing authority of the designated employee's department or division.

Category 5: Decision-Making Authority Affecting Real Property. Employees disclose interest in investments, business positions, income, loans and gifts from sources that engage in land development, construction, or the acquisition or sale of real property. These employees must also disclose all interests in real property located in the City, and within a one-mile radius of the City or of any property owned or used by the City.

Category 6: Decision-Making Authority Affecting Claims and/or Insurance. Employees disclose interest in investments, business positions, income, loans and gifts from: (a) persons or entities which provide services, supplies, materials, machinery or equipment of the type utilized by the City; (b) business entities that manufacture, sell, supply, or promote personnel training materials or that offer personnel consulting services, and that do business, or expect to do business, within the City; (c) entities which are engaged in the business of insurance; (d) financial institutions; (e) entities or persons who have filed a claim, or have a claim pending, against the

City which is reviewed by the designated employee's department or division; (f) business entities that offer, sell, or service group medical insurance, group life insurance, group dental insurance, pension plans, or that make investments or any way manage funds relating thereto, and that do business, or expect to do business, within the City.

Category 7: Investment Responsibilities. Employees disclose interest in investments, business positions, income, loans and gifts, from financial institutions doing business with or eligible to do business with the City.

#### Designated Employees

Employee positions have been added and deleted from the Designated Employee worksheet to reflect current positions and position titles within each department.

#### **FISCAL IMPACT**

None.

#### **REASON FOR RECOMMENDATION**

The Political Reform Act requires every local government agency to review its conflict of interest code biennially (even numbered years) to determine if it is accurate or must be amended. Staff has reviewed the existing code and is recommending the amendments to the list of designated employees.

#### **ACTIONS FOLLOWING APPROVAL**

The City Clerk's Office will contact the affected employees and ensure that the City is in compliance.

Prepared by: Karey Cha, City Clerk

Reviewed by: City Manager *AA*

**CONFLICT OF INTEREST  
CODE FOR THE CITY OF CLOVIS**

The Political Reform Act, Government Code Section 81000, et seq., requires state and local government agencies to adopt and promulgate local conflict of interest codes. The Fair Political Practices Commission has adopted a regulation, 2 Cal. Code of Regs. Section 18730, which contains the terms of a standard conflict of interest code. It can be incorporated by reference and may be amended by the Fair Political Practices Commission after public notice and hearings to conform to amendments in the Political Reform Act. Therefore, the terms of 2 Cal. Code of Regs. Section 18730 and any amendments to it duly adopted by the Fair Political Practices Commission are hereby incorporated by reference and, along with the attached Appendices in which members and employees are designated and disclosure categories are set forth, constitute the conflict of interest code of the City of Clovis.

Designated employees shall file statements of economic interests with the City who will make the statements available for public inspection and reproduction. (Gov. Code Section 81008). Upon receipt of the statements of the City Council, Planning Commission, City Manager, City Attorney, and City Treasurer, the City shall make and retain a copy and forward the original of these statements to the Fair Political Practices Commission. The City will retain statements for all other designated employees.

## TYPE OF POSITION

Category 1: Broad Responsibilities: Full Disclosure. Employees disclose all reportable interests, including investments, business positions, sources of income, loans, gifts, including travel payments, and real property as required by the FPPC Guidelines. Additionally, the real property category is expanded to include property located within a two-mile radius of the City or any property owned or used by the City.

Category 2: City-Wide Purchasing Approval Responsibilities. Employees disclose interest in investments, business positions, income, loans and gifts from sources that provide services, supplies, materials, machinery, or equipment of the type utilized by the City.

Category 3: Department/Division Purchasing Approval Responsibilities. Employees disclose interest in investments, business positions, income, loans and gifts from sources that provide services, supplies, materials, machinery, or equipment of the type utilized by the designated employee's department or division.

Category 4: Regulatory Power. Employees disclose interest in investments, business positions, income, loans and gifts from any source that is subject to the regulatory, permit, or licensing authority of the designated employee's department or division.

Category 5: Decision-Making Authority Affecting Real Property. Employees disclose interest in investments, business positions, income, loans and gifts from sources that engage in land development, construction, or the acquisition or sale of real property. These employees must also disclose all interests in real property located in the City, and within a one mile radius of the City or of any property owned or used by the City.

Category 6: Decision-Making Authority Affecting Claims and/or Insurance. Employees disclose interest in investments, business positions, income, loans and gifts from: (a) persons or entities which provide services, supplies, materials, machinery or equipment of the type utilized by the City; (b) business entities that manufacture, sell, supply, or promote personnel training materials or that offer personnel consulting services, and that do business, or expect to do business, within the City; (c) entities which are engaged in the business of insurance; (d) financial institutions; (e) entities or persons who have filed a claim, or have a claim pending, against the City which is reviewed by the designated employee's department or division; (f) business entities that offer, sell, or service group medical insurance, group life insurance, group dental insurance, pension plans, or that make investments or any way manage funds relating thereto, and that do business, or expect to do business, within the City.

Category 7: Investment Responsibilities. Employees disclose interest in investments, business positions, income, loans and gifts, from financial institutions doing business with or eligible to do business with the City.



## \*Definitions

“Applicable investments” relates to investments held by the designated employee, spouse and dependent children with an aggregate value of \$2,000 or more located or doing business in the jurisdiction. It includes investments held by a business entity or trust in which the designated employee, spouse and dependent children have an aggregate interest of 10% or greater.

“Applicable business positions” relates to positions in which the designated employee was a director, officer, partner, trustee, employee or held any position of management during the period covered by the report, even if the designated employee received no income from the business entity during the period.

“Applicable income” includes the designated employee’s gross income (including loans) and the employee’s community property interest in his or her spouse’s gross income aggregating \$500 or more received from any source located in or doing business in the jurisdiction. Please note that loans are reported on a separate schedule.

“Applicable gift” includes anything of value for which the designated employee has not provided equal or greater consideration to the donor. A gift is reportable if its fair market value is \$50 or more. In addition, multiple gifts aggregating \$50 or more received during the reporting period from a single source must be reported. Unless otherwise expressly limited in the Disclosure Categories, gifts are reportable without regard to where the donor is located.

“Applicable interest in real property” includes those located in the jurisdiction in which the employee, spouse or dependent children had a direct, indirect, or beneficial interest aggregating \$2,000 or more any time during the reporting period. The employee is not required to report a residence used exclusively as a personal residence.

“Jurisdiction” means the City of Clovis. Real property is deemed to be “within the jurisdiction” if the property or any part of it is located in or within two miles of the boundaries of the City or any property owned or used by the City, unless a smaller area is specified in the Disclosure Category.

RESOLUTION 22-\_\_\_\_

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS  
AMENDING THE CONFLICT OF INTEREST CODE LIST OF  
DESIGNATED EMPLOYEES

**WHEREAS**, California Code of Regulations, Section 18730, et seq. contains the terms of a standard conflict of interest code adopted by the Fair Political Practices Commission (FPPC); and

**WHEREAS**, the FPPC amends the conflict of interest code terms on a regular basis to amendments in the Political Reform Act; and

**WHEREAS**, in 1994, the Clovis City Council adopted Resolution 94-130 that incorporated, by reference, the terms of Section 18730 along with the designation of employees and the formulation of disclosure categories; and

**WHEREAS**, Government Code Section 87306 requires that a report be submitted to the City Council identifying any changes in the code including, but not limited to, all new positions and changes in the list of reportable interests.

**NOW, THEREFORE, BE IT RESOLVED**, by the Clovis City Council that Attachment A accurately reflects all proposed changes to the Conflict of Interest Code list of designated employees.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

DATED: September 12, 2022

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**Amendments to the City of Clovis Conflict of Interest Code**

AGENDA ITEM NO. 5.

EXISTING				PROPOSED		Disclosure Category
Department	Position	Add	Delete	Department	Position	
<b>Administration</b>				<b>Administration</b>		
	Assistant City Manager / City Clerk		Assistant City Manager / City Clerk			
	Assistant City Manager	Assistant City Manager			Assistant City Manager	1
	Business Development Manager				Business Development Manager	3
	City Clerk	City Clerk			City Clerk	1
	Community & Economic Development Director		Community & Economic Development Director			
	Deputy Director of Information Technology	Deputy Director of Information Technology			Deputy Director of Information Technology	1
	Economic Development, Housing and Communication Director	Economic Development, Housing and Communications Director			Economic Development, Housing and Communications Director	1
	Executive Assistant				Executive Assistant	3
	Housing Program Coordinator		Housing Program Coordinator			
	Management Analyst	Management Analyst			Management Analyst	1
	Information Technology Manager		Information Technology Manager			
	Information Technology Specialist				Information Technology Specialist	3
	Information Technology Supervisor				Information Technology Supervisor	2
	Information Technology Technician				Information Technology Technician	1
	Personnel Commissioners				Personnel Commissioners	1
	Principal Office Assistant				Principal Office Assistant	3
	Public Affairs and Information Manager				Public Affairs and Information Manager	1
	Senior Information Technology Analyst				Senior Information Technology Analyst	1
<b>Finance</b>				<b>Finance</b>		
	Accounting Supervisor				Accounting Supervisor	1
	Deputy Finance Director				Deputy Finance Director	1
	Assistant Finance Director				Assistant Finance Director	1
<b>Fire</b>				<b>Fire</b>		
	Battalion Chief				Battalion Chief	1
	Deputy Fire Chief				Deputy Fire Chief	1
	Fire Chief				Fire Chief	1
	Management Analyst				Management Analyst	3
	Spec Proj/Life Safety Mgr				Spec Proj/Life Safety Mgr	1
<b>General Services</b>				<b>General Services</b>		
	Facilities Maintenance and Purchasing Manager				Facilities Maintenance and Purchasing Manager	1
	Facilities Maintenance Supervisor				Facilities Maintenance Supervisor	1
	General Services Director				General Services Director	1
	Gen. Services Manager				Gen. Services Manager	1
	Management Analyst				Management Analyst	1
	Personnel / Risk Manager				Personnel / Risk Manager	1
	Personnel Technician				Personnel Technician	1
	Recreation Supervisor				Recreation Supervisor	1
	Transit Supervisor				Transit Supervisor	1

**Amendments to the City of Clovis Conflict of Interest Code**

AGENDA ITEM NO. 5.

EXISTING				PROPOSED		Disclosure Category
Department	Position	Add	Delete	Department	Position	
<b>Planning &amp; Development Services</b>				<b>Planning &amp; Development Services</b>		
	Assistant Director Planning and Development Services		Assistant Director Planning and Development Services			
	Building Inspector				Building Inspector	3
	Building Official				Building Official	
	Business Workflow Analyst				Business Workflow Analyst	3
	City Engineer				City Engineer	3
	City Planner				City Planner	3
	Construction Manager				Construction Manager	3
	Deputy Building Official / Plan Checker	Deputy Building Official / Plan Checker			Deputy Building Official / Plan Checker	3
	Deputy City Planner				Deputy City Planner	3
	Director of Planning and Development Services				Director of Planning and Development Services	1
	Engineering Program Supervisor				Engineering Program Supervisor	1
	Engineering Technician				Engineering Technician	3
	Geographic Information Systems Analyst				Geographic Information Systems Analyst	3
	Management Analyst				Management Analyst	3
	Planning & Development Administrative Manager	Planning & Development Administrative Manager			Planning & Development Administrative Manager	3
	Plans Examiner				Plans Examiner	3
	Senior Building Inspector		Senior Building Inspector			
	Senior Plans Examiner	Senior Plans Examiner			Senior Plans Examiner	3
	Senior Engineering Inspector				Senior Engineering Inspector	3
	Senior Planner				Senior Planner	3
	Supervising Civil Engineer				Supervising Civil Engineer	3
<b>Police</b>				<b>Police</b>		
	Communications Supervisor	Communications Supervisor			Communications Supervisor	3
	Crime Analysis Supervisor	Crime Analysis Supervisor			Crime Analysis Supervisor	3
	Management Analyst				Management Analyst	3
	Police Captain				Police Captain	1
	Police Chief				Police Chief	1
	Police Lieutenant				Police Lieutenant	1
	Police Services Manager				Police Services Manager	1
	Property & Evidence Supervisor	Property & Evidence Supervisor			Property & Evidence Supervisor	3
	Records Supervisor	Records Supervisor			Records Supervisor	3
	Supervisor of Animal Services	Supervisor of Animal Services			Supervisor of Animal Services	3
<b>Public Utilities</b>				<b>Public Utilities</b>		
	Assistant Public Utilities Director				Assistant Public Utilities Director	1
	Administrative Assistant				Administrative Assistant	3
	Fleet Manager				Fleet Manager	3
	Landfill Supervisor	Landfill Supervisor			Landfill Supervisor	3
	Management Analyst				Management Analyst	3
	Parks Manager				Parks Manager	1
	Principal Office Asst.		Principal Office Asst.			
	Public Utilities Director				Public Utilities Director	1
	Supervising Civil Engineer				Supervising Civil Engineer	3
	Solid Waste Manager				Solid Waste Manager	1

**Amendments to the City of Clovis Conflict of Interest Code**

AGENDA ITEM NO. 5.

EXISTING		Add	Delete	PROPOSED		Disclosure Category
Department	Position			Department	Position	
	Street Maintenance Manager				Street Maintenance Manager	1
	Utilities Manager				Utilities Manager	1
	Water Production Manager				Water Production Manager	1



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council  
 FROM: Administration  
 DATE: September 12, 2022  
 SUBJECT: Administration - Receive and File – Economic Development Corporation  
 Serving Fresno County Quarterly Report, April - June 2022.

ATTACHMENTS: 1. EDC Fourth Quarter Report, April - June 2022

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

That the City of Clovis receive and file the Fourth Quarter Report, April - June 2022 from the Economic Development Corporation Serving Fresno County.

### **EXECUTIVE SUMMARY**

The Economic Development Corporation serving Fresno County (EDC) has submitted their Fourth Quarter Report of activities for the City Council to receive and file, as required per the 2021-2022 Agreement with the City.

### **BACKGROUND**

In the summer of 2021, the City of Clovis and the EDC entered into a contract for the 2021-2022 fiscal year to provide regional marketing and business services to Clovis businesses. The contract provides for \$40,000 in baseline funding and provides \$10,000 for a medical attraction study to be completed. This allows Clovis to be part of a regional effort in attracting commercial and industrial businesses to Clovis. Attached is a report detailing the progress of their activities to provide information to industrial/commercial representatives not currently located in Clovis for recruiting purposes and continue to assist existing Clovis businesses with informational and/or technical assistance to access statewide business support programs.

Highlights of the EDC quarterly report include:

**Q4 Snapshot**

The EDC team conducts outreach marketing business expansion and retention services by:

- Providing an operational analysis to evaluate the health of the business. This tool offers us a thorough understanding of the appropriate referrals or resources needed for business growth or retention;
- Connecting businesses to labor subsidy programs;
- Providing education on federal/state/local tax Incentives; and
- Providing referrals and information on financing assistance.

Stemming from direct outreach, workshops, one-on-one meetings, and marketing efforts, the areas of interest and number of referrals generated are reflected below:

	<b>Q4 2021-2022</b>
<b>Businesses Contacted</b>	29
<b>Business Referrals</b>	17

Type	Goal	Q4	FY21-22	Completion
Retention and Recovery Resource Event	2	0	1	50%
Economic Profile	1	1	1	100%
Incentive Brochure	1	1	1	100%
New Business Leads	40	22	62	155%
Targeted Healthcare Engagements	20	20	20	100%
Top 50 Business List	1	1	1	100%

**FISCAL IMPACT**

The City will forward the fourth quarter installment payment to EDC. The funds were budgeted in the 2021-2022 fiscal year budget.

**REASON FOR RECOMMENDATION**

The attached report meets the requirement established in the 2021-2022 Agreement between the EDC and the City of Clovis.

**ACTIONS FOLLOWING APPROVAL**

Staff will file the report.

Prepared by: Andy Haussler, Assistant City Manager

Reviewed by: City Manager *AH*



## **City of Clovis**

# **Quarterly Activity Report**

**Quarter 4**  
**Fiscal Year 2021-2022**  
**April 1, 2022 – June 30, 2022**

Lee Ann Eager	President/CEO
Sherry Neil	Chief Operating Officer
Paul Thorn	Controller
Will Oliver	VP of Business Services
Julian Ramos	Client Services Manager
Spencer Bremer	Research Analyst
Gina Chicconi	Business Attraction Specialist
Jackie Cuevas	Economic Development Specialist
Charlene Holguin	Economic Development Specialist
Marcella Lara	Business Retention Specialist
Tiffany Louk	Business Attraction Specialist
Merritt Pacini	Executive Assistant to the CEO
Miguel Ruelas	Business Expansion and Retention Coordinator
Ross Williams	Research Analyst
Chris Zeitz	Special Projects Coordinator



## City of Clovis Quarterly Activity Report

*This report summarizes the agreement requirements between the City of Clovis and the Fresno County Economic Development Corporation (EDC).*

### Division Mission

To market Fresno County as the premier location for business prosperity.

### Fresno County EDC Services

The Economic Development Corporation serving Fresno County is a nonprofit organization established to market Fresno County as the premier location for business prosperity. We facilitate site selection for new businesses within Fresno County, and assist in the retention and expansion of businesses through our alliance with collaborative partners and resources.

The EDC agrees to the following services:

1. Provide information to the industrial and office representatives not located in the City of Clovis for recruiting new businesses and industries;
2. Assist in the development of marketing materials to attract new investments, commercial and industrial brokers, developers, and site selectors. Assist in utilizing online marketing to advance economic and community development efforts;
3. Assist existing businesses and industries that contact the EDC with information and technical assistance through the BEAR Action Network;
4. Work to foster a closer working relationship with local business associations to enhance the EDC services provided to Clovis area employers;
5. Continue acting in a leadership role in promotion of high-speed rail and promote the Clovis area for related development;
6. Inform Clovis of legislation important to the economic and community development of the region and act on their behalf;
7. Assist in identifying economic development projects on the City's behalf for the inclusion in the County of Fresno's Comprehensive Economic Development Strategy (CEDS) for possible grant funding; and
8. Provide administrative staffing at all Executive Committee, Board, and related events.

## Q4 Snapshot

The EDC team conducts outreach marketing business expansion and retention services by:

- Providing an operational analysis to evaluate the health of the business. This tool offers us a thorough understanding of the appropriate referrals or resources needed for business growth or retention;
- Connecting businesses to labor subsidy programs;
- Providing education on federal/state/local tax Incentives; and
- Providing referrals and information on financing assistance.

Stemming from direct outreach, workshops, one-on-one meetings, and marketing efforts, the areas of interest and number of referrals generated are reflected below:

	<b>Q4 2021-2022</b>
<b>Businesses Contacted</b>	29
<b>Business Referrals</b>	17

Type	Goal	Q4	FY21-22	Completion
<b>Retention and Recovery Resource Event</b>	2	0	1	50%
<b>Economic Profile</b>	1	1	1	100%
<b>Incentive Brochure</b>	1	1	1	100%
<b>New Business Leads</b>	40	22	62	155%
<b>Targeted Healthcare Engagements</b>	20	20	20	100%
<b>Top 50 Business List</b>	1	1	1	100%

## Clients and Businesses Contacted

Accounting America  
 Assured Senior Living Solutions  
 Big Bear Apparel  
 Blast and Brew  
 Bobby Salazar's Mexican Restaurant Clovis  
 Casa Maria  
 Clovis Stationary Office Supply  
 Denny's (Shaw Ave) Clovis  
 Dollhouse Salon

Facelogic Spa  
 Green Planet Cleaning Pros  
 Head to Toe Salon  
 House of JuJu  
 Kuppa Joy - Clovis  
 Old Town Cafe  
 On the Edge  
 Panaderia Cafe Oaxaca  
 Rodeo Coffee Shop  
 Rushour  
 Rustic Lace Boutique  
 SMS Services Inc.

Salsa Cantina  
 Scoop's, Soups and More  
 The Local  
 Unions Jacks Pasty Shack  
 Wawona Frozen Foods  
 CALBEC Group  
 Denny's (Shaw Ave) Clovis  
 A Mind Above, A  
 Professional Psychology Corporation

## City of Clovis Economic Snapshot

### Quarter 4, FY 21-22

#### Industrial, Office, and Retail Vacancy

This quarter in the City of Clovis, the industrial vacancy rate increased to 0.1% to 0.2%, the office vacancy rate increased from 4.1% to 4.9%, and the retail vacancy rate decreased from 5.5% to 5.0%.

Q4 FY21-22	Industrial	Office	Retail
Fresno County	2.4%	8.6%	4.5%
City of Clovis	0.2%	4.9%	5.0%

Source: CoStar.com

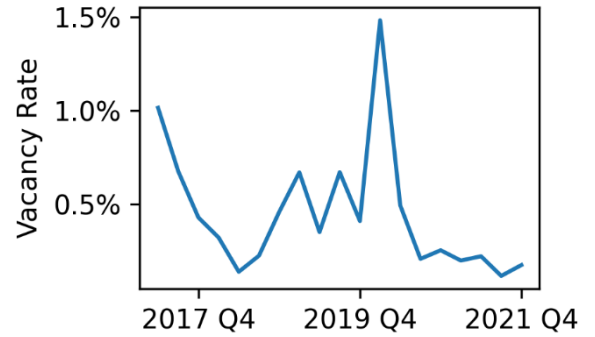
### June 2022 Unemployment Rates

The unemployment rate in Clovis was 2.2% in June 2022, down from a revised 3.2% in March 2022. This compares with a non-seasonally adjusted unemployment rate of 3.4% for California and 4.3% for the nation during the same period.

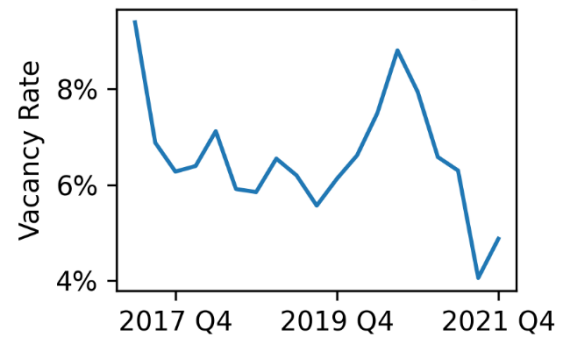
Area	Labor Force	Unemployment Rate
Fresno County	454,700	5.2%
City of Clovis	57,900	2.2%

Source: State of California Employment Development Department

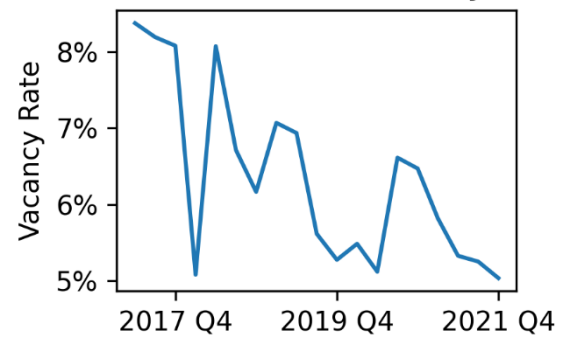
Clovis Industrial Vacancy



Clovis Office Vacancy



Clovis Retail Vacancy



## Business Expansion and Attraction Leads

During the fourth quarter, the EDC generated **21** new business leads and responded to **6** requests for information.

Month	Client Number	Source	Industry	Jobs	Site Requirements	Regions
April	220411A1	Direct Lead	Other Industrial Machinery Manufacturing	1	TBD	Metro- Fresno Metro-Clovis
	220502A1	Direct Lead	Roasted Nuts and Peanut Butter Manufacturing	20	70,000 sq. ft.   5.0 acres	ALL
	CCVEDC 2209	CCVEDC Lead	Cold Storage Facility	15	250,000 sq. ft.   50 acres	ALL
	PROJECT IPERION X	GO-Biz Lead	Metal Manufacturing	15	100,000 sq. ft.   2.5 acres	TBD
	220428A 1	Local Partner Lead	Bottled Water Manufacturing	50	500,000 sq. ft.   35 acres	ALL
	CCVEDC 2218	CCVEDC Lead	Toilet Preparation Manufacturing	25	300,000 sq. ft.	ALL
	PROJECT RAINIER	GO-Biz Lead	Industrial Gas Manufacturing	50	40,000 sq. ft.   5 acres	ALL
May	PROJECT MANGO MATERIALS	GO-Biz Lead	Chemical Product and Preparation Manufacturing	30	25,000 sq. ft.   5.0 acres	ALL
	CCVEDC 2220	CCVEDC Lead	Concrete Product Manufacturing	100	8 acres	ALL
	CCVEDC 2219	CCVEDC Lead	Perishable Food Processing	30	60,000 sq. ft.	ALL
	CCVEDC 2222	CCVEDC Lead	Metal Manufacturing	50	40,000 sq. ft.	ALL
	PROJECT MARVEL	GO-Biz Lead	Basic Inorganic Chemical Manufacturing	500	50 acres	ALL
	PROJECT ROYAL	GO-Biz Lead	Rubber Product Manufacturing	60	10 acres	ALL
	220502A1	Direct Lead	Roasted Nuts and Peanut Butter Manufacturing	20	70,000 sq. ft.   5.0 acres	ALL
	CCVEDC 2223	CCVEDC Lead	Plastics and Resin Manufacturing	TBD	10,000 SF	ALL
	Project RUBICON	GO-Biz Lead	Meat and Meat Product Merchant Wholesalers	150	250,000 SF   40 acres	ALL
	220614A1	Direct Lead	Land Subdivision	TBD	3,000 SF	ALL
June	220621a1	ICSC Lead	Fast-Food Restaurants	TBD	1 acre	Metro-Clovis, West-Firebaugh, East-Sanger, East-Reedley, West-Kerman
	220621a2	Local Partner Lead	Aircraft Engine and Engine Parts Manufacturer	5	1,000 SF	Metro - Clovis
	project zinc	GO-Biz Lead	Space Vehicle Manufacturer	750	750,000 SF   300 acres	ALL
	Project Neptune	GO-Biz Lead	Biofuel Manufacturing	140	25 acres	ALL

## Requests for Information

Month	Client Number	Source	Industry	Requirement
April	RFI- 220408	CCVEDC	Commercial	Owner of Property is selling building and inquired about the location being within the boundaries of opportunity zones. Fresno County identified that the property is within Fresno County Opportunity zone.
	RFI- 220407E1	Direct Lead	Hospitality and Entertainment	Client is currently gathering information to put together a hotel feasibility study for a casino operator in Fresno. EDC compiled information on youth sporting events, information on HSR plans, and hotel occupancy rates for Fresno/Clovis
	RFI 220429A1	CCVEDC	Industrial Floor Covering	Client requested incentive information for Fresno County. EDC provided list of incentives related to the client's business.
	RFI 220429A2	CCVEDC	Manufactures and distributes products and systems for irrigation	Lead generated from WestPack. Client has experienced some permitting issues with a fence he installed on his property. EDC provided the client with contacts and information to resolve the permitting issue.
May	RFI 220505A1	Direct Lead	Industrial Building Construction	An industrial building construction company was interested in the services the EDC provides clients in hopes that there may be some assistance we can provide in the future. The EDC presented an overview of our services and were introduced to the company's work and clientele.
June	RFI 220617a1	Local Partner Lead	Land development	A local business owner is interested in selling several parcels that have been in their family for decades. EDC has been asked to help coordinate connections to local brokers and/or potential businesses interested in purchasing one or more of the parcels.

## Partnership with Department of Social Services

The EDC has been contracted to assist the Fresno County Department of Social Services in marketing the New Employment Opportunities (NEO) program, Ready2Hire, and identify prospective employers to hire from the pool of eligible NEO job seekers.

### NEW EMPLOYMENT OPPORTUNITIES (NEO) 2021-2022

To be completed by 9/30/2022

METRIC	Actual	Contract Goal
PARTICIPATING BUSINESSES	109	150
JOB PLACEMENTS	83	200
JOB POSTINGS	661	500
JOB FAIRS	7	4
EMPLOYER TRAINING	5	4

## Customized Workforce Trainings

Realizing the current labor demands among our local businesses, the EDC, Department of Social Services and educational partners have worked with industry stakeholders to develop customized trainings to fulfill today's workforce needs. Utilizing input from various industry practitioners, each training curriculum is

developed to create career pathways to meet tomorrow’s industry needs, help businesses grow and individuals back to work. Below is a list of customized training programs underway:

**Valley Apprenticeship Connections**

*Pre-Apprenticeship Program.* The partnership between Fresno County EDC, the Department of Social Services, and Fresno EOC is continuing to provide a 12-week program comprised of classroom and construction-based training.

**John Lawson Truck Driving**

*Class A Truck Driving Class.* The 10-week training is a partnership between Fresno County EDC, the Department of Social Services, West Hills Community College, and Lawson Rock and Oil.

**Central Valley Training Center**

*Pre-Apprenticeship Program.* The partnership between Fresno County EDC, the City of Selma, and High-Speed Rail Authority will provide a 12 week program comprised of classroom and construction-based training.

**High-Speed Rail**

Since the program inception in 2013, the EDC has assisted 331 property owners throughout the City and County of Fresno.

<b>Client Status</b>	
Relocated	143
Reconfiguring	41
Relocation Pending	9
Closed	38
Existing	100
<b>Total</b>	<b>331</b>

**Highlights**

**Big Hat Days | Clovis**

EDC staff attended the Clovis Big Hat Days on Saturday April 2, 2022. EDC staff was able to conduct outreach to small businesses for the Small Business Relief Grant Program and provided information on EDC business services. EDC staff provided a follow up email with each business with the Small Business Grant information. EDC staff followed-up with a phone call to make sure each business received the email and if they have any questions regarding the information provided.

**NEO | All**

The NEO business Papa Murphy's (Bertao Family Industries Inc) has been pleased with their NEO hire. Once the contract ends for this client, they will continue his employment with a promotion as the Night Manager. Papa Murphy’s is a great example of the support that helps train the NEO employees to make sure that they are retained by the business for the full term of the contract and longer. Partnerships with businesses such as Papa Murphy’s contribute to that success and help make a change in Fresno County.

### **Central Valley Training Center Program | City of Selma and Fresno County**

The fourth cohort of 14 students graduated from the Central Valley Training Center on April 8, 2022. The graduates received pre-apprenticeship and hands-on construction training from professional carpenters, cement masons, electricians, and other specialists. Students graduated with more than five industry-specific certificates, including Confined Space, Hazmat, and Forklift certifications. Students also received a graduating gift of a work bag that contained tools to help get them started. Guests at the graduation included Selma Mayor Scott Robertson, each member of the Selma City Council, Supervisor Buddy Mendes, High-Speed Rail board member Henry Perea, High-Speed Rail staff, and a host of family and friends of the graduates.

### **Fresno EDC Real Estate Forecast | All**

Fresno County EDC held our 17<sup>th</sup> Annual Real Estate Forecast. This exciting event discussed the health of Fresno County's booming real estate industry and how we are "Growing the California Dream"! It is an essential event for realtors, developers, investors, and business and civic leaders to attend as well as a great networking opportunity. This year we had 320 in attendance at the DoubleTree by Hilton in Downtown Fresno. The event was hosted by President/CEO Lee Ann Eager and Nick Audino with guest speakers included Ethan Smith, Steve Flach, Beau Plumlee, Brett Visintainer, Sullivan Grosz, Peter Orlando, and Robin Kane.

### **Restaurant Care Fund | All**

EDC Staff conducted business outreach for the Restaurant Care Fund available for businesses in Fresno County to apply from April 15<sup>th</sup> to April 30<sup>th</sup> of 2022. Restaurant Care Fund is a partnership with SoCalGas, PG&E, and SDG&E to offer \$3,000 grants to independent restaurants at the heart of our communities. EDC Staff provided the Restaurant Care Fund information flier as well as the qualifications to apply for the grant. EDC staff will follow up with the businesses to see who was awarded the grant.

### **Port of Stockton Tour | All**

President and CEO Lee Ann Eager and Client Services Manager Julian Ramos traveled to the Port of Stockton for a tour of the inland port, as part of the Governor's Transportation Commission. After an overview of the Port's history, Port staff briefed the participants on the capacity of the Port and the changes it has seen as a result of COVID-19 and the subsequent supply chain issues. Along with current capacity, Port staff also discussed various projects underway to mitigate environmental impacts of daily operations in the immediate vicinity of the Port.

### **Hotel Feasibility | City of Fresno and City of Clovis**

Attractions and Special Projects met with a firm conducting a hotel feasibility study in Fresno. The Attractions team submitted information on hotel occupancy rates and youth/sporting event information in the Fresno/Clovis area, extracted data from EDC's airport study, and detailed information on the High-Speed Rail timeline as well as new hotel developments and local special events. The information the EDC provided will show the need for additional hotels in Fresno, especially as local events return.

### **West Pack Trade Show - CCVEDC | All**

Fresno County EDC attended California's largest packing event held in Anaheim. This year's event included businesses and experts in packing, automation, medical, design and manufacturing. Over the 3-day event, we held several discussions regarding water allocation, real estate affordability and availability, and workforce availability. The event generated 25 leads throughout the Central Valley and Fresno EDC has assisted 2 of those leads with guidance on incentives and permitting.

### **Visit to Sacramento | All**

Lee Ann was in Sacramento on April 26 to discuss Economic Development, International Trade, FDI, and Transportation. She was able to meet with Lieutenant Governor Eleni Kounalakis, her staff and the international staff from GoBiz. They would like to join us on international travel to promote California. She also met with Chair Liane Randolph of California Air Resources Board and discussed the CTC and CARB working together for the betterment of transportation for the State of California. Lee Ann was able to share the needs of the Central Valley. Lee Ann also had a productive meeting with the Secretary of the California State Transportation Agency, Toks Omishaken, where they discussed transportation and the Central Valley. The day ended with a meeting with Vince Mammano, Division Administrator with the California Division of the Federal Highway Administration.

### **South Central Fresno, Malaga, & Calwa Area Meeting | City of Fresno and County of Fresno**

Lee Ann was invited to attend a meeting scheduled by Caltrans with the residents from South Central Fresno, Malaga, and Calwa to discuss proposed additional onramps on the 99 at American and North avenues. The participants voiced their concerns about work already being done in the area by Caltrans and the California High-Speed Rail Authority. Diana Gomez, Caltrans District 6 Director, gave explanations as to some of the road closures and construction projects. It was determined that there would be a follow-up meeting and the City of Fresno and County of Fresno would be invited along with the EDC.

### **Congressman Costa Press Conference | All**

Lee Ann Eager took part in a Press Conference with Congressman Jim Costa to celebrate Fresno County EDC's new workforce training facility which is planned to be built at the West Fresno City College Campus site. Congressman Costa helped secure \$1.9 million to help fund Fresno EDC's new Central Valley Training Center. This facility will be a game-changer in terms of teaching skills in manufacturing, construction trades, information technology, and skilled welding. The students will also be able to obtain college credits for their training.

### **Dollhouse Salon | City of Clovis**

EDC staff assisted Dollhouse Salon with the application process for the Micro Business Grant. Dollhouse Salon was impacted by COVID-19 and had to close their business twice during the pandemic. The business will benefit greatly from the assistance of the Micro Business Grant funds. During the pandemic, the business expressed that the bills kept coming and they fell behind some months. The business is grateful that the City of Clovis allowed time to pay the lease without penalty. The business anticipates using the \$2,500 funds awarded to pay off the remaining past due bills and complete some maintenance that the Salon will be needing.

### **International Council of Shopping Centers (ICSC) Conference 2022 | All**

Two of our attractions team members, Client Services Manager Julian Ramos and Business Attraction Specialist Gina Chicconi, established all-important face-to-face connections with retailers, developers, city management, and economic development agencies at the International Council of Shopping Centers (ICSC) Conference in Las Vegas. Our team is passionate about establishing relationships with retailers on behalf of our 15 cities as these types of connections are the driving force of economic development.





### IEDC Economic Development Week 2022 | All

The EDC celebrated the International Economic Development Council's (IEDC) 2022 Economic Development Week (May 9-13) by posting content showcasing our successful programs and providing ways to contact us to learn more, as well as utilizing the #EconDevWeek22 hashtag on all of our posts to draw in a new audience via IEDC

- Monday: Introduction to Economic Development Week
- Tuesday: Board of Supervisors Proclamation presentation to staff recognizing the work we do in our community
- Wednesday: Workforce Development Program Highlights
- Thursday: NEO Testimonial from one of our long-time NEO participants who now in turn hires through NEO
- Friday: Video announcing our move and promoting our Annual Event in October.

### ATIP | All

Coordinated meeting with Roger Isom, CEO of WAPA - Western Agricultural Processors Association - to showcase ATIP's GIS database of biowaste producers, locations, and amounts which calculates the optimal location for biodigesters to convert the waste into methane or other value-added products. WAPA will survey their members to add to the database and ATIP will share the findings to help growers find innovative solutions for their waste products.

The next few ATIP meetings will be coordinating our first Advisory Council meeting.

### West Pack Trade Show - CCVEDC | All

Fresno County EDC attended California's largest packing event held in Anaheim. This year's event included businesses and experts in packing, automation, medical, design and manufacturing. Over the 3-day event, we held several discussions regarding water allocation, real estate affordability and availability, and workforce availability. The event generated 25 leads throughout the Central Valley and Fresno EDC has assisted 2 of those leads with guidance on incentives and permitting.

### New NEO Business | All

The BEAR Team focused on conducting business outreach to the Senior Living Facilities in Fresno County to meet the candidate's skills as Caregivers in the ready2hire portal and help fill employment for both the business and the job seeker. EDC will follow up with the companies contacted to complete the enrollment into the NEO program. Additionally, the following businesses have enrolled into the NEO

program and are actively seeking candidates to fill their hiring needs as well as help make a difference in the community. (JD Foods, FaceLogic Spa, The Driver Services, and four locations for New Caney, Inc. dba Denny's).

#### **DSS Ribbon Cutting | Clovis and Fresno County**

The Cook Land Company was looking to lease the former Costco warehouse in Clovis. Fresno County EDC's President and CEO, Lee Ann Eager mentioned the Department of Social Services' need for a New Child Welfare Service Division Building. The Cook Land Company is the first in the Nation to convert a former Costco warehouse into a Class A office space. The former Costco facility will provide more than 138,000 square feet of office space, which will be used to relocate nearly 550 Child Welfare staff and consolidate six buildings into a single, central campus. This project was completed in just 13 months with the help of Quiring General, LLC. Jerry Cook has mentioned his gratitude for Lee Ann's facilitation and help with the introduction to the Department of Social Services.



#### **Central Valley Training Center | Selma and Fresno County**

As graduation approaches for cohort 5, EDC staff assisted the students with writing and/or updating their resumes. Additionally, EDC staff assisted the students get prepared for their upcoming jobfair with mock interviews. Cohort 6 began on June 27th with orientation for the first week. Changes were made to the training calendar to improve student engagement.



#### **Fresno Rural Convening Meeting | All**

EDC staff attended to listen and support Rural Fresno community members at the first in-person meeting to determine next steps for our region's Community Economic Resilience Fund (CERF) application. The meeting brought stakeholders to the table as conveners to finalize the "Collective Partnership Agreement" letter to keep our region competitive for these funds. CERF funds will transform our region over the next two decades to achieve the following goals:

1. High quality jobs
2. Remove barriers to access those jobs
3. Move towards a carbon-neutral economy



### **Truck Driver Orientation | City of Fresno, City of Clovis & Fresno County**

Fresno EDC staff participated in the Truck Driver orientation held at the Department of Social Services (DSS) in Clovis. Individuals that are receiving assistance from DSS are given information about the program in hopes that this can be a new career change. EDC provides information about the program partnership and the business needs have licensed Truck Drivers. After building excitement the clients then start working on getting their documents in order to participate in the upcoming class that starts on July 18th, 2022.



### **Chenguang Conditional Use Permit Approval | Fresno County**

Attractions staff helped a foreign direct investment client navigate a particularly challenging Conditional Use Permit application. The client obtained approval for their permit, which will allow them to begin the construction/permitting process. Fresno EDC has been working with Chenguang since 2019 and continues to assist them throughout the process. Site plan and building permitting will soon follow with the assistance of Fresno EDC.

### **Central Valley Training Center Meet and Greet Advertising Campaign | Selma & Fresno County**

EDC's Social Media and Executive team drafted a new marketing strategy for EDC events including billboards, bus advertising, and social media ad campaigns. The Social Media team designed targeted advertising campaigns on Facebook and LinkedIn to attract business event attendees and CVTC enrollees. To date, the Facebook campaign has reached over 7,000 people, generating 144 post

engagements and 64 link clicks, which resulted in 34 users who expressed interest in attending the event. The team followed up with personal messages including contact information for EDC’s Business Expansion and Retention Coordinator if they are a business interested in attending the event, and information on signing up for our CVTC program if they are individuals interested in our pre-apprenticeship training program. The LinkedIn campaign generated dozens of engagements and nearly 1,000 impressions.



**Sierra Agra USA in Fowler – Fresno County and Five Cities**

The EDC has worked with Sierra Agra USA since 2019 as they have made plans to launch their first U.S. facility. Using state of the art Italian engineered processing equipment, they will use seconds, culls, grade outs or imperfect product as a plentiful feedstock to create food grade juices, extracts, purees, concentrates and aromas. The EDC has provided a wide variety of services, from securing over \$1M in state tax credits, accessing Cal Recycle equipment loan financing, to providing an impact analysis to help shape their compensation and benefits offering, with their minimum wage starting at \$22 per hour. They are currently completing tenant improvements in an 80,000 sf facility in Fowler and will conclude the final installation of their food processing equipment from Parma, Italy. In June, EDC staff connected Sierra Agra with CMTC and the Fresno Regional Workforce Development Board to assist with receiving an Employment Training Panel contract (ETP) and on-the-job training funding. With ETP funding, Sierra Agra will be able to recruit a wide pool of jobseekers, upskilling their new talent on lean practices, effective teams, and tailored training around their unique equipment. Once fully operational, Sierra Agra will employ over 120 positions in the Fowler community.

**Van G Logistics Emissions Report | Fresno County**

Fowler-based Van G Logistics recently unveiled an ambitious project to establish one of the first inland port facilities in the Central Valley, providing rail transport to the ports of Los Angeles and Oakland. Using publicly available data and prior research into the economic and environmental benefits of the inland port concept. EDC’s Special Projects team developed a report analyzing the expected environmental impact of Van G Logistics’ transition from long-haul trucking routes to freight rail service. From this analysis, the Special Projects Team was able to demonstrate that a transition from truck to rail freight could result in a net savings of over 600kg of CO2e per truckload on routes to the Port of Los Angeles, and over 500kg of CO2e per truckload on routes to the Port of Oakland. The team has also

expanded their research to the whole Fresno County, developing a calculator that allows businesses to calculate the environmental impact of participation in an expanded Inland Port concept.

### Select USA | Fresno County

Fresno County EDC Client Services Manager Julian Ramos traveled to Washington DC this past week to attend the international SelectUSA Investment Summit as part of the California delegation led by Lt. Governor Eleni Kounalakis. Hosted by the US Dept of Commerce, SelectUSA focuses on facilitating job-creating business investment into the US and raising awareness of the critical role that economic development plays in the US economy.

As the top Foreign Direct Investment (FDI) event in the country, SelectUSA has facilitated more than \$105 billion in investment, creating and/or retaining over 138,000 US jobs. A record-breaking year for the event, there were over 3,600 attendees from 70+ international markets. During the 3 day event, Fresno County EDC met with over 20 international companies - from startups to multinationals- to highlight the many reasons Fresno County is the premier location for business prosperity. EDC was able to garner strong interest from companies in Ag tech, manufacturing, and food processing. As a result of those meetings, several leads were generated and the EDC is moving forward in coordinating next steps.

As part of the Governor's Office of Business and Economic Development California delegation, the EDC also attended receptions held by the Japan External Trade Organization and the Indian Embassy. These events presented additional opportunities for EDC to reach a targeted audience that had interest in the hydrogen and green technology spaces. Many of the contacts made were aware of Plug Power's plans to build the west coast's largest green hydrogen production facility here in Fresno County. Using Plug Power's commitment to Fresno County, the EDC was able to further discussion with businesses that are interested in contributing to an industry cluster around hydrogen production.





FY 21-22 Overview of Work Product	Deliverables	FY 2021 – 2022 Target Outcomes	
<p>Economic Development Corporation Serving Fresno County</p> <p>Contract: \$40,000</p> <p>Targeted Healthcare Contacts: \$10,000</p> <p>Staff: President &amp; CEO Lee Ann Eager</p> <p>Sherry Neil Chief Operating Officer</p> <p>Vice President of Business Services Will Oliver</p>	<p><b>Retention:</b> Targeted businesses will be contacted by a variety of methods to educate Clovis businesses on local, regional and statewide incentive programs</p> <ul style="list-style-type: none"> <li>• Conduct Analysis to determine top 50 companies in Clovis that should be focused on for retention and expansion</li> </ul> <p><b>New Business Recruitment:</b> Provide information and tours to industrial and commercial representatives not currently located in Clovis for the purpose of recruiting new businesses and industries to the City of Clovis. Assist the City of Clovis in marketing identified industrial parks or industrial areas to new clients.</p> <ul style="list-style-type: none"> <li>• Coordinate site tours for the purpose of business attraction and expansion.</li> <li>• Create and update marketing materials.</li> <li>• Coordinate commercial and industrial broker events for the City of Clovis.</li> <li>• Conduct analysis to determine expansion industries and companies to target for expansion.</li> <li>• Attend trade shows/missions and market Clovis.</li> </ul>	<p>Top 50 targeted business analysis for expansion/retention</p>	<p>Completed</p>
		<p>Respond to all City of Clovis business inquires and connect them to appropriate resources</p>	<p>29 clients and businesses contacted and 17 referrals made during Q4.</p>
		<p>20 Targeted Healthcare Contacts</p>	<p>Completed</p>
		<p>2 Retention and Recovery Resource Events</p>	<p>1 completed</p>
		<p>40 new business leads</p>	<p>62 total business leads; 22 leads generated in Q4.</p>
		<p>Economic Profile including updated demographic information</p>	<p>Economic profile updated and hosted on EDC’s website.</p>
		<p>Incentive Brochure</p>	<p>Completed</p>



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: September 12, 2022

SUBJECT: Administration - Approval – FY 2022-23 Agreement between the City of Clovis and the Economic Development Corporation Serving Fresno County.

ATTACHMENTS: 1. 2022-23 Agreement between the City of Clovis and the Economic Development Corporation Serving Fresno County

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

Approve and authorize the City Manager to execute the fiscal year 2022-23 Agreement between the City of Clovis and the Economic Development Corporation Serving Fresno County (EDC) up to an amount of \$50,000.

### **EXECUTIVE SUMMARY**

The attached agreement is between the City of Clovis and the Economic Development Corporation serving Fresno County up to an amount of \$50,000. The agreement outlines activities and responsibilities that the EDC will provide for the funding.

### **BACKGROUND**

The Agreement continues the formalized relationship between the City and the EDC. Performance standards were adjusted in the previous contract which included pay-for-performance incentives. These changes have been continued in the proposed contract as they have shown to be successful. The deliverables target the EDC efforts on attraction with some support work for business retention as well as building on in-depth research on medical cluster analysis completed in 2021-22. The effort will now take the next step in targeting potential businesses to expand into Clovis to leverage recent investments in our medical community.

Attraction efforts will include data analysis to determine likely industries and subsequent businesses that are ideal for Clovis to focus on, general marketing efforts, trade show attendance if feasible, outreach to brokers, and an incentive for site tours completed for businesses looking to locate in Clovis. Retention efforts will include utilizing access to economic data the EDC has



to ensure Clovis staff is focusing on critical businesses in retention efforts and the EDC acting as a business resource expert. This structure allows for the City and the EDC to leverage their expertise and increase the ability of economic development efforts in Clovis.

To facilitate continued close coordination between the City and EDC, the Community and Economic Development Director sits on the Board of Directors and the Executive Committee of the EDC. The City's Community and Economic Development staff maintains a close working relationship with the EDC's Executive Director and staff.

### **FISCAL IMPACT**

The City of Clovis will pay the EDC up to \$50,000, including performance incentives, in the 2022-23 fiscal year in four quarterly payments contingent on submission of a quarterly report of activities to the City Council. These funds are included in the 2022-23 City budget.

### **REASON FOR RECOMMENDATION**

This agreement is consistent with the adopted budget, policies, goals, and objectives of the City Council. As a regional economic development organization, it is appropriate that the City collaborates with the EDC on the implementation of goals and objectives to facilitate the creation of jobs for Clovis and the region.

Approval of this agreement will allow the City to continue its coordinated approach to enhancing the City's economy and job creation efforts with the County of Fresno and other cities within the County.

### **ACTIONS FOLLOWING APPROVAL**

After approval, the City Manager will execute the agreement; and the Community and Economic Development staff will administer the agreement.

Prepared by: Andrew Haussler, Assistant City Manager

Reviewed by: City Manager *AH*

**AGREEMENT BETWEEN THE CITY OF CLOVIS AND THE  
ECONOMIC DEVELOPMENT CORPORATION SERVING FRESNO COUNTY  
FOR FISCAL YEAR 2022-2023**

WHEREAS, the City Council of the City of Clovis (City) is committed to a balanced and diversified economy as one of its most important priorities to ensure the future well-being of the citizens of Clovis; and

WHEREAS, the City has invested considerable resources to encourage a location for new and expanding businesses and industries and to ensure the economic vitality of commercial areas; and

WHEREAS, the Economic Development Corporation Serving Fresno County (EDC) continues to maintain regional, national, and international marketing and promotional efforts to attract the location and expansion of businesses and industries in all of the communities within Fresno County; and

WHEREAS, the State of California (State) has designated the EDC as its regional contact and referral point for businesses and industries that contact the State while seeking a location for new or expanded facilities; and

WHEREAS, the City desires to secure such services, and allocates funds to the EDC for purposes of aligning additional EDC resources and staff support to assist in implementing and administering certain local economic development activities such as advocacy, marketing and promotion, and technical support for the City by the EDC toward business attraction goals to create ongoing opportunities for the City; and

WHEREAS, the City seeks to enhance its support of the EDC in order to utilize the unique position the EDC maintains within the business community, and to promote economic growth in the City.

NOW, THEREFORE, the City and the EDC agree as follows:

1. The EDC agrees to assist the City in promoting the economic growth in the City by providing the following services:
  - (a) Recognize short-term and long-term impacts on businesses by COVID-19 and provide informational resources and technical assistance to retain and expand existing Clovis businesses.
  - (b) For the purpose of recruiting new businesses and industries to the City, provide information to industrial and office representatives.
  - (c) Assist in the development of marketing materials to attract new investment to the City.
  - (d) Assist in marketing the City's industrial/commercial properties, including the Research and Technology Park.
  - (e) Market the City to commercial and industrial brokers, developers, site selectors, and businesses.

- (f) Distribute City economic development materials.
  - (g) Assist the City in the implementation of the City's Economic Development Strategy and the Business Retention, Expansion and Attraction Program.
  - (h) The Economic Development team will work towards fostering a closer working relationship with local business associations to enhance the accessibility of EDC's services to City employees. Level of partnership is dependent on willingness and capacity of local business associations to participate.
  - (i) Assist City points-of-contact in fully utilizing social media and online marketing tools to advance economic and community development efforts in the City.
  - (j) The EDC will inform the City of legislation important to the Economic and Community Development of the region and advocate on their behalf.
  - (k) In addition to periodic reports to the Economic Development Director and City Manager, submit quarterly status reports to the City Council, detailing the progress of the EDC and related activities.
  - (l) The EDC shall assist in identifying economic development projects and priorities on the City's behalf for inclusion in the County of Fresno's Comprehensive Economic Development Strategy (CEDS) for potential grant funding.
  - (m) The EDC agrees to provide a designated Economic Development Specialist as an EDC staff member to respond to City business attraction and expansion leads and to ensure City participation.
2. For performance of the services described in Section 1, paragraphs (a) through (p) and for measurable outcomes identified in Attachment A, the City agrees to pay the EDC the sum of \$40,000 to be paid in four (4) quarterly installments, at the end of each quarter, with the quarter commencing July 1, 2022. In addition to the services described in Section 1, the City agrees to pay the EDC ten thousand dollars (\$10,000) in one installment upon completion of the Comparative Healthcare Analysis Marketing Collateral and implementation campaign.
  3. It is understood and agreed that in the performance of this agreement the EDC is an independent contractor. The EDC shall take out and maintain Workers Compensation, State Disability, and other insurance coverage as required by law and shall in all other respects comply with applicable provisions of federal, state, and local laws, rules and regulations.
  4. The EDC shall indemnify, hold harmless, and defend the City, its officers, agents, and employees, from all claims for money, damages, or other relief arising in any form from the performance of this agreement by the EDC, its officers, agents, or employees. The EDC shall take out and maintain for the full term of this agreement liability insurance providing protection for personal injury, wrongful death, and property damage; such

insurance to be in amounts and issued by carriers acceptable to the City. The EDC shall provide the City with a Certificate of Insurance evidencing such coverage.

- 5. The funds provided EDC by the City pursuant to this agreement shall not be directly or indirectly used for any political purpose whatsoever. This prohibition includes, but is not limited to, campaigns, events, promotions, literature, lobbying or other activities for, against or on behalf of any state, local or federal legislation, issue, candidate(s) or action, whether partisan in nature or not.
- 6. As part of the annual financial audit of the books and records of the EDC by the EDC's independent auditor, the audit shall include tests for compliance with this Agreement. These tests shall be performed in conformance with generally accepted auditing standards. The auditor shall prepare a separate written report on the compliance with the provisions of this agreement. The City reserves the right to review, during normal business hours, the books and records of the EDC's expenditures which are related to the programs required by the provisions of this Agreement.

DATED: \_\_\_\_\_

DATED: \_\_\_\_\_

CITY OF CLOVIS

ECONOMIC DEVELOPMENT CORPORATION  
SERVING FRESNO COUNTY

BY: \_\_\_\_\_

BY: \_\_\_\_\_

John Holt, City Manager

Lee Ann Eager, CEO

ATTEST:

\_\_\_\_\_  
Karey Cha, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Scott G. Cross, City Attorney

FY 22-23 Overview of Work Product	Deliverables	FY 2022 – 2023 Target Outcomes	AGENDA ITEM NO. 7.
<p>Economic Development Corporation Serving Fresno County</p> <p>Contract: \$40,000</p> <p>Comparative Healthcare Analysis Phase 3: \$10,000</p> <ul style="list-style-type: none"> <li>- Marketing &amp; Recruitment Plan</li> <li>- Healthcare Company Engagement</li> </ul> <p>Staff:</p> <p>President &amp; CEO Lee Ann Eager</p> <p>Chief Operating Officer Sherry Neil</p> <p>Vice President of Business Services Will Oliver</p>	<p><b>Business Retention:</b> Staff will continue to analyze Clovis businesses impacted by COVID-19 and incorporate into the Top 50 Analysis. Targeted businesses will be contacted by a variety of methods to educate Clovis businesses on available retention resources, such as utility rate reductions, rehiring incentives and low-cost emergency relief funding.</p> <ul style="list-style-type: none"> <li>• Conduct Analysis to determine Top 50 companies in Clovis that should be focused on for retention and expansion.</li> </ul> <p><b>New Business Recruitment:</b> Facilitate information and conduct tours for company representatives not currently located in Clovis for the purpose of recruiting new businesses to the City of Clovis. Assist the City of Clovis in promoting future industrial areas and existing industrial sites to new clients.</p> <ul style="list-style-type: none"> <li>• Coordinate virtual and in-person site tours for the purpose of business attraction and expansion.</li> <li>• Create and update marketing materials.</li> <li>• Support in-person or virtual commercial and industrial broker events for the City of Clovis.</li> <li>• Communicate leads status during monthly EDC - City of Clovis meeting.</li> </ul>	Top 50 targeted business analysis for expansion/retention	
		Respond to all City of Clovis business inquires and connect them to appropriate resources	
		Comparative Healthcare Analysis (HCA) Enhancement & Recruitment Plan	
		2 Broker Events	
		40 new business leads	
		20 targeted healthcare company engagements from HCA	
		Economic Profile Update	

**Comparative Healthcare Analysis:**

- EDC has completed a Comparative Healthcare Analysis (CHA) and draft marketing collateral to conduct proactive company engagement. 20 unique businesses have been identified for direct engagement between the City and EDC. Engagements in FY22-23 shall include preparation of detailed marketing materials based on the CHA analysis including City demographics, labor data, available Clovis real estate, anchor assets, clovis4business.com website promotion and other pertinent data and information as approved by the City of Clovis. EDC staff shall work in coordination with the City of Clovis on delivery of materials, company contacts and planning and logistics for subsequent site visits.

AGENDA ITEM NO. 7.



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: September 12, 2022

SUBJECT: Administration - Approval – Res. 22-\_\_\_\_, A Resolution authorizing the City Manager to approve the sales of mobile homes obtained through California’s CalHome Program, and other state and/or federal affordable housing programs, and to execute all necessary documents to effectuate the sales.

ATTACHMENT: 1. Res. 22-\_\_\_\_

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

For the City Council to approve a resolution authorizing the City Manager to sell mobile homes, acquired through a lien process with California’s CalHome Program, and other state and/or federal affordable housing programs, in the open market and at fair market values, and to execute all necessary documents needed to effectuate the sales.

### **EXECUTIVE SUMMARY**

In 2017, the City received funding from the CalHome Program to assist the City in repairing and replacing substandard housing. The City utilized the funds to repair and replace seventeen (17) mobile homes for low-income households throughout the City, and in exchange, became the lien holder on the seventeen (17) mobile homes. Since then, several of the mobile homeowners have passed away, and as sole lien holder, the City reclaimed ownership of the mobile homes for resale to qualified homebuyers. Staff is requesting Council to delegate to the City Manager the authorization to approve the sales of the mobile homes in the open market and at fair market values, and to execute all necessary escrow and sale documents to effectuate the sales of these mobile homes, and any mobile homes that the City assists in the future with state and/or federal affordable housing program funds.

### **BACKGROUND**

The CalHome Program funding has been an invaluable resource for the City by providing homeownership and home rehabilitation funds to low-income residents. As a result, the City is

able to maintain affordable housing stock. Over the years, the CalHome Program funds have been used for down payment assistance, as well as owner-occupied housing rehabilitation.

In 2017, the City received CalHome Program funding for housing rehabilitation and replacement of mobile homes. Many of the mobile homes in the City are owned by low-income elderly residents. The homes had exceeded their maximum service life and needed to be replaced. To that end, the City marketed the 2017 CalHome Program to mobile home parks, and seventeen (17) low-income mobile homeowners received a new mobile home to replace their former old and unsafe units.

As the years have progressed, the City found that several of the CalHome Program assisted residents have passed away. As the sole lien holder on the mobile homes, the City may acquire ownership of the mobile homes for resale upon the passing of the homeowners. To date, the City has acquired three (3) mobile homes under the described circumstances. As the owner of the mobile homes, the City is required to pay holding costs to the mobile home park owners, such as monthly space rent, taxes, and landscaping. Selling the mobile homes in an effective and timely manner will reduce the City's costs, while ensuring that the City maintains the mobile homes within the City's affordable housing inventory.

Staff is requesting Council to delegate to the City Manager the authorization to sell the mobile homes in the open market and at fair market values, and to execute all necessary documents needed to effectuate the sales. Sales priority will be given to low-income homebuyers in the purchase of the mobile homes. Approval of the resolution will provide the City Manager with authority to sell the three (3) mobile homes that are currently under the City's possession, and to sell any future mobile homes that may be acquired under the same conditions through other state and/or federal affordable housing programs without further presentation before, or approval from, Council. This will help streamline the process of selling these mobile homes.

#### **FISCAL IMPACT**

The sale of the mobile homes will generate program income, which can be used to pay holding costs, and for other future affordable housing eligible uses. There is no impact to the General Fund Budget.

#### **REASON FOR RECOMMENDATION**

Staff recommends approval of the resolution for the City to effectively and timely resell mobile homes acquired by the City for affordable housing purposes.

#### **ACTIONS FOLLOWING APPROVAL**

Staff will promptly sell the mobile homes currently held under the City's ownership, as well as all mobile homes obtained in the future.

Prepared by: Claudia Cazares, Management Analyst

Reviewed by: City Manager *AA*



**RESOLUTION 22-\_\_\_\_**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS  
AUTHORIZING THE CITY MANAGER TO APPROVE THE SALES OF MOBILE  
HOMES OBTAINED THROUGH THE STATE'S CALHOME PROGRAM AND  
OTHER STATE OR FEDERAL HOUSING ASSISTANCE PROGRAMS, AND TO  
EXECUTE ALL NECESSARY DOCUMENTS TO EFFECTUATE THE SALES**

**WHEREAS**, California's CalHome Program and other state and federal programs provide grants to local public agencies for various activities, including housing rehabilitation assistance to enable low- and very low-income households to become or remain homeowners; and

**WHEREAS**, in 2017, the City received CalHome Program funding to repair and to replace seventeen (17) mobile homes for low-income households throughout the City, and seeks to continue using CalHome Program funding and other state and federal housing assistance program fundings for similar uses in the future (all such housing assistance funding use for mobile homes is collectively referred to herein after as "Program Funding"); and

**WHEREAS**, when Program Funding is used to repair or replace a mobile home, the City becomes a lienholder on the mobile home; and

**WHEREAS**, when the owners of the mobile homes pass away, the City can take ownership of the decedents' mobile homes and may sell them to qualified homebuyers; and

**WHEREAS**, Clovis Municipal Code section 2.2.112 authorizes the City Manager to sign routine contracts, conveyances, warrants, and other instruments necessary for the day-to-day operations of the City, including instruments requiring the City seal, which the Council has specifically delegated by ordinance, resolution, or other official action that the City Manager sign; and

**WHEREAS**, pursuant to Revenue and Tax Code section 5801, subdivision (b)(2), a mobile home is classified as personal property, and not real property; and

**WHEREAS**, the City desires to streamline the process of selling the mobile homes as they become available to the City under applicable Program Funding guidelines, and to prioritize maintaining the mobile homes as affordable housing to qualified homebuyers.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Clovis as follows:

**SECTION 1.** The City Manager is hereby delegated the authority to sell the mobile homes that receive assistance from Program Funding administered by the City, as they become available, and as the City obtains ownership. The City Manager is authorized to market the sales of the mobile homes in any manner he/she chooses, and any sales must be for fair

market value. In the sales of these mobile homes, priority shall be given to maintaining these units as income-qualified affordable housing to qualified homebuyers.

**SECTION 2.** The City Manager is further hereby authorized to approve the sales of the mobile homes and to execute all necessary documents to effectuate such sales without further presentation to, or approval from, the Council.

**SECTION 3.** This resolution shall take effect immediately upon its adoption.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council  
 FROM: Finance Department  
 DATE: September 12, 2022  
 SUBJECT: Finance – Receive and File – Investment Report for the Month of May 2022.

ATTACHMENTS:

1. Distribution of Investments
2. Monthly Investment Transactions
3. Certificates of Deposit
4. Municipal Securities
5. Graph of May 31, 2022 Treasury Rates

Attached is the Investment Report for the month of May 2022. Shown in Attachment 1 is the distribution of investments which lists all the individual securities owned by the City with the book and market values. Book value is the actual price paid for the investment. Market value is the amount that the investment is worth if sold in the open market. The market value (which fluctuates daily) that is used in the report is as of the last working day of the month. Attachment 2 reflects the monthly investment transactions for the month of May 2022. Attachment 3 lists the certificates of deposit. Attachment 4 lists the municipal securities. Attachment 5 is a graph of Treasury rates on May 31, 2022.

The investment of the City's funds is performed in accordance with the adopted Investment Policy. Funds are invested with the following objectives in mind:

1. Assets are invested in adherence with the safeguards and diversity of a prudent investor.
2. The portfolio is invested in a manner consistent with the primary emphasis on preservation of the principal, while attaining a high rate of return consistent with this guideline. Trading of securities for the sole purpose of realizing trading profits is prohibited.
3. Sufficient liquidity is maintained to provide a source for anticipated financial obligations as they become due.

4. Investments may be made, consistent with the Investment Policy Guidelines, in fixed income securities maturing in three years or less and can be extended to five years with the City Manager's approval.

The Finance Department invests the City's assets with an expectation of achieving a total rate of return at a level that exceeds the annualized rate of return on short-term government guaranteed or insured obligations (90-day Treasury bills) and to assure that the principal is preserved with minimal risk of depreciation or loss. In periods of rising interest rates, the City of Clovis portfolio return may be less than that of the annualized 90-day Treasury bill. In periods of decreasing interest rates, the City of Clovis portfolio return may be greater than the annualized 90-day Treasury bill. The current 90-day Treasury bill rate (annualized) is 0.20%. The rate of return for the City of Clovis portfolio is 1.04%. The goal for the City of Clovis investment return is 120% of the 90-day Treasury bill rate. The current rate of return is 519% of the Treasury bill rate.

In accordance with the Investment Policy, the investment period on each investment does not exceed three years and can be extended to five years with the City Manager's approval. As of May 2022, the average investment life of the City's investment portfolio is 1.18 years.

#### Current Investment Environment and Philosophy

During the month of May 2022, the federal funds rate was increased to 0.75%-1.00%. On May 31, 2022, the Treasury yield curve increased from 3-month to 10-year notes.

#### Certificates of Deposit (CD's)

The City purchases both negotiable and non-negotiable Certificates of Deposit (CD's). Although negotiable CD's can be traded, it is the City's policy to buy and hold all CD's. Negotiable CD's are held by U.S. Bank, a third party custodian. Non-negotiable CD's are held in the City's safe.

#### Purchases and Maturities

- 0 government securities were purchased.
- 0 government securities were called or matured.
- 3 certificates of deposit totaling \$750,000 were purchased.
- 2 certificates of deposit totaling \$500,000 matured.
- 4 municipal securities totaling \$3,250,000 were purchased.

#### Market Environment

- During May the federal funds rate was increased to 0.75%-1.00%.
- On May 31, the yield curve increased from 3-month to 10-year notes. See Attachment 5, Graph of Treasury Rates on May 31, 2022.

Prepared by: Jeffrey Blanks, Deputy Finance Director

Reviewed by: City Manager *AA*

**City of Clovis  
Distribution of Investments  
As of May 31, 2022**

AGENDA ITEM NO. 9.

	<u>COST</u>	<u>NET BOOK VALUE</u>	<u>MARKET VALUE *</u>	<u>YIELD TO MATURITY</u>	<u>STATED INTEREST RATE</u>	<u>INVEST DATE</u>	<u>MATURITY DATE</u>	<u>DAYS TO MATURITY FROM 5/31/2022</u>
<b><u>GOVT SECURITIES</u></b>								
FFCB	6,017,400	6,005,232	6,002,220	1.875%	1.875%	06/27/19	06/14/22	14
FAMCMTN	6,024,900	6,007,803	6,003,180	1.950%	1.950%	07/25/19	06/21/22	21
FFCB	3,005,250	3,002,074	3,003,150	1.625%	1.625%	11/27/19	08/22/22	83
FHLB	6,065,100	6,025,738	6,012,240	2.000%	2.000%	10/31/19	09/09/22	101
FFCB	2,984,460	2,993,412	3,000,450	1.375%	1.375%	11/27/19	10/11/22	133
FFCB	5,008,500	5,003,819	4,997,750	1.600%	1.600%	01/23/20	10/13/22	135
FHLB	8,045,600	8,021,152	6,507,540	1.875%	1.875%	12/19/19	12/09/22	192
FHLB	5,047,500	5,022,769	6,507,540	1.875%	1.875%	01/23/20	12/09/22	192
FAMCMTN	8,544,965	8,523,948	8,469,740	1.350%	1.350%	02/27/20	02/27/23	272
FHLB	5,255,000	5,145,268	5,022,556	2.125%	2.125%	03/26/20	03/10/23	283
FHLB	13,579,800	13,319,589	13,001,924	2.125%	2.125%	04/30/20	03/10/23	283
FFCB	5,000,000	5,000,000	4,803,850	0.250%	0.250%	03/01/21	03/01/24	640
FFCB	1,999,000	1,999,111	1,929,160	0.300%	0.300%	03/24/21	03/18/24	657
FHLB	5,000,000	5,000,000	4,802,250	0.350%	0.350%	06/07/21	06/07/24	738
FHLB	4,969,000	4,970,369	4,800,550	1.050%	1.050%	01/20/22	11/15/24	899
FHLB	3,980,000	3,980,830	3,889,120	1.750%	1.750%	02/28/22	02/28/25	1,004
FHLB	4,000,000	4,000,000	3,884,000	2.750%	2.750%	04/25/22	04/25/25	1,060
FAMCMTN	3,947,600	3,950,319	3,762,800	0.750%	0.750%	12/16/21	07/28/25	1,154
FAMCMTN	4,948,500	4,950,975	4,661,700	0.600%	0.600%	10/14/21	09/08/25	1,196
FHLB	4,963,000	4,965,093	4,609,350	0.580%	0.580%	09/08/21	02/11/26	1,352
FHLB	3,922,000	3,925,490	3,690,600	0.750%	0.750%	12/16/21	02/24/26	1,365
FFCB	4,967,500	4,968,730	4,571,200	0.940%	0.940%	10/14/21	09/28/26	1,581
FHLB	5,988,000	5,988,450	5,637,000	1.250%	1.250%	11/24/21	11/24/26	1,638
FHLB	5,127,757	5,124,502	4,837,950	2.125%	2.125%	01/20/22	12/11/26	1,655
FHLB	3,695,200	3,702,935	3,622,560	0.900%	0.900%	03/31/22	02/26/27	1,732
FHLB	4,000,000	4,000,000	3,997,880	2.375%	2.375%	03/08/22	03/08/27	1,742
<b>SECURITIES TOTAL</b>	<u>\$ 136,086,032</u>	<u>\$ 135,597,608</u>	<u>\$132,028,260</u>					
<b>LAIF</b>		<u>\$ 74,511,731</u>	<u>\$ 74,511,731</u>					
<b>Municipal Issuance</b>		<u>\$ 21,435,000</u>	<u>\$ 20,246,488</u>					
<b>Sweep Account (Union Bank)</b>		<u>\$ 53,520,514</u>	<u>\$ 53,520,514</u>					
<b>TOTAL CD'S</b>		<u>\$ 11,995,000</u>	<u>\$ 11,776,587</u>					
<b>TOTAL INVESTMENTS</b>		<u>\$ 297,059,853</u>	<u>\$ 292,083,580</u>					

\* Market values for securities obtained from US Bank.

**City of Clovis**  
**Monthly Investment Transactions**  
**As of May 31, 2022**

AGENDA ITEM NO. 9.

Institution	Description	Activity	Amount	Market Value	Rate	Activity Date	Maturity Date
ANTELOPE VALLEY	Mun Iss.	Purchase	717,803	750,000	1.767%	05/12/22	08/01/25
FREMOND USD	Mun Iss.	Purchase	1,083,798	1,140,000	2.000%	05/31/22	08/01/27
PLACENTIA YORBA LINDA	Mun Iss.	Purchase	1,028,082	1,110,000	1.070%	05/31/22	08/01/26
SANTA ANA COLLEGE	Mun Iss.	Purchase	231,483	250,000	0.744%	05/12/22	08/01/25
AMERICU CR	CD	Purchase	250,000	250,000	2.200%	05/02/22	05/02/25
CONNEXUS CR	CD	Purchase	250,000	250,000	2.200%	05/26/22	05/27/25
SYNCHRONY BANK RETAIL	CD	Purchase	250,000	250,000	3.100%	05/20/22	05/20/25
FIRST STATE BANK	CD	Maturity	250,000	250,000	2.000%	05/26/22	05/26/22
SYNCHRONY BANK	CD	Maturity	250,000	250,000	2.450%	05/17/22	05/17/22

**PORTFOLIO DATA**

**Current Month (05/22)**

	<u>Book</u>	<u>Market</u>
CD'S	\$ 11,995,000	\$ 11,776,587
Gov't Securities*	135,597,608	132,028,260
Municipal Securities	21,435,000	20,246,488
LAIF	74,511,731	74,511,731
Sweep Account (Union Bank)	53,520,514	53,520,514
<b>TOTAL</b>	<b>\$ 297,059,853</b>	<b>\$ 292,083,580</b>

**Prior Month (04/22)**

	<u>Book</u>	<u>Market</u>
CD'S	\$ 11,745,000	\$ 11,541,842
Gov't Securities*	135,597,608	131,674,865
Municipal Securities	18,185,000	17,212,328
LAIF	74,511,731	74,511,731
Sweep Account (Union Bank)	46,053,688	46,053,688
<b>TOTAL</b>	<b>\$ 286,093,027</b>	<b>\$ 280,994,454</b>

**Three Months Previous (02/22)**

	<u>Book</u>	<u>Market</u>
CD'S	\$ 9,995,000	\$ 9,946,255
Gov't Securities*	141,928,058	140,552,056
Municipal Securities	9,465,000	9,278,989
LAIF	74,453,060	74,453,060
Sweep Account (Union Bank)	43,416,255	43,416,255
<b>TOTAL</b>	<b>\$ 279,257,373</b>	<b>\$ 277,646,615</b>

**Six Months Previous (11/21)**

	<u>Book</u>	<u>Market</u>
CD'S	\$ 10,235,000	\$ 10,305,263
Gov't Securities*	131,539,804	131,745,725
Municipal Securities	9,025,000	8,890,629
LAIF	74,410,223	74,410,223
Sweep Account (Union Bank)	26,143,386	26,143,386
<b>TOTAL</b>	<b>\$ 251,353,413</b>	<b>\$ 251,495,226</b>

**One Year Previous (05/21)**

	<u>Book</u>	<u>Market</u>
CD'S	\$ 9,985,000	\$ 10,165,327
Gov't Securities*	115,733,857	117,212,701
Municipal Securities	5,900,000	5,903,008
LAIF	74,304,273	74,304,273
Sweep Account (Union Bank)	66,702,687	66,702,687
<b>TOTAL</b>	<b>\$ 272,625,817</b>	<b>\$ 274,287,996</b>

\*Adjusted Quarterly for Premium/Discount Amortization

**City of Clovis  
Certificates of Deposit  
As of May 31, 2022**

AGENDA ITEM NO. 9.

<u>Negotiable CDs</u>	<u>COST</u>	<u>MARKET PRICE</u>	<u>INTEREST RATE</u>	<u>INVEST DATE</u>	<u>MATURITY DATE</u>	<u>MATURITY FROM 05/31/22</u>	<u>INTEREST FREQUENCY</u>
Flagstar Bank	250,000	250,125.00	2.500%	06/12/19	06/13/22	13	QUARTERLY
Capital One Bank	250,000	250,172.50	2.350%	06/19/19	06/20/22	20	QUARTERLY
Morgan Stanley Bk	250,000	250,377.50	2.100%	07/25/19	07/25/22	55	QUARTERLY
Capital One Ntnl Assn	250,000	250,502.50	2.150%	08/07/19	08/08/22	69	QUARTERLY
Everbanke USA Salt Lake City	250,000	250,455.00	2.050%	08/07/19	08/08/22	69	QUARTERLY
Raymond James Bank	250,000	250,475.00	1.900%	08/23/19	08/23/22	84	QUARTERLY
Ally Bank	250,000	250,542.50	1.850%	09/19/19	09/19/22	111	QUARTERLY
Usalliance Federal Credit Union	250,000	250,645.00	2.850%	09/30/19	09/30/22	122	QUARTERLY
Morgan Stanley Bank	250,000	250,597.50	2.100%	10/17/19	10/17/22	139	MONTHLY
Lafayette Fed Cr Un	250,000	250,435.00	1.700%	11/22/19	11/22/22	175	MONTHLY
Live Oak Banking Co.	250,000	250,460.00	1.750%	12/11/19	12/12/22	195	QUARTERLY
Wells Fargo Natl Bk West	250,000	250,522.50	1.800%	12/13/19	12/13/22	196	QUARTERLY
Valley Cent Svgs Bk	250,000	250,260.00	1.700%	01/15/20	01/17/23	231	QUARTERLY
Sallie Mae Bank	250,000	250,550.00	1.900%	01/23/20	01/23/23	237	QUARTERLY
Servisfirst Bank	250,000	249,890.00	1.600%	02/21/20	02/21/23	266	MONTHLY
Celtic Bank	250,000	249,607.50	1.550%	03/13/20	03/13/23	286	MONTHLY
Axos Bank	250,000	249,452.50	1.550%	03/26/20	03/27/23	300	MONTHLY
Nicolet Natl Bank	250,000	248,430.00	0.900%	03/27/20	03/27/23	300	MONTHLY
Centerstate Bank	250,000	248,070.00	0.900%	03/30/20	03/30/23	303	MONTHLY
Bank Leumi	250,000	249,197.50	1.450%	03/31/20	03/31/23	304	MONTHLY
Discover Bank	250,000	249,160.00	1.350%	04/02/20	04/03/23	307	MONTHLY
Berkshire Bank	250,000	248,797.50	1.300%	04/08/20	04/06/23	310	MONTHLY
American Express	250,000	248,150.00	1.100%	04/21/20	04/21/23	325	MONTHLY
New York Cmnty Bank	250,000	241,940.00	0.350%	12/11/20	12/11/23	559	QUARTERLY
Transportation Alliance Bk	250,000	239,382.50	0.250%	03/12/21	03/12/24	651	QUARTERLY
Preferred Bank	250,000	239,062.50	0.250%	03/25/21	03/25/24	664	QUARTERLY
Bankunited Natl Assn	245,000	235,004.00	0.450%	03/31/21	04/01/24	671	QUARTERLY
Greenstate Credit Union	250,000	238,035.00	0.450%	06/16/21	06/17/24	748	QUARTERLY
Eaglemark Savings Bank	250,000	237,617.50	0.400%	06/30/21	06/28/24	759	QUARTERLY
Texas Exchange Bk	250,000	237,882.50	0.500%	07/09/21	07/09/24	770	QUARTERLY
BMW Bk North Amer	250,000	237,827.50	0.550%	07/30/21	07/30/24	791	QUARTERLY
Toyota Finl Svgs	250,000	237,632.50	0.650%	09/09/21	09/09/24	832	QUARTERLY
State Bk India	250,000	237,492.50	0.650%	09/17/21	09/17/24	840	QUARTERLY
Ubs Bank Usa	250,000	236,947.50	0.750%	11/17/21	11/18/24	902	QUARTERLY
Webbank Salt Lake City	250,000	236,790.00	0.750%	11/29/21	11/29/24	913	QUARTERLY
Medallion Bank Salt Lake City	250,000	237,307.50	0.900%	12/20/21	12/20/24	934	QUARTERLY
Beal Bank	250,000	237,222.50	0.950%	01/19/22	01/15/25	960	QUARTERLY
Barclays Bk	250,000	241,305.00	1.700%	03/09/22	03/10/25	1,014	QUARTERLY
Goldman Sachs Bk	250,000	240,975.00	1.650%	03/09/22	03/10/25	1,014	QUARTERLY
Safra National Bk	250,000	243,160.00	2.000%	03/23/22	03/24/25	1,028	QUARTERLY
Pentagon Federal Cr Un	250,000	243,087.50	2.000%	03/28/22	03/28/25	1,032	QUARTERLY
Beal Bank	250,000	244,407.50	2.200%	04/06/22	04/02/25	1,037	QUARTERLY
JP Morgan Chase	250,000	246,415.00	2.500%	04/08/22	04/08/25	1,043	QUARTERLY
First Natl Bank	250,000	244,325.00	2.200%	04/12/22	04/11/25	1,046	QUARTERLY
One Community Bank	250,000	247,635.00	2.700%	04/29/22	04/29/25	1,064	QUARTERLY
Americu Credit Union	250,000	248,315.00	2.800%	05/02/22	05/02/25	1,067	QUARTERLY
Synchrony Bank Retail	250,000	250,340.00	3.100%	05/20/22	05/20/25	1,085	QUARTERLY
Connexus Credit Union	250,000	249,602.50	3.000%	05/26/22	05/27/25	1,092	QUARTERLY
<b>Negotiable CD TOTAL</b>	<u>\$ 11,995,000</u>	<u>\$ 11,776,587</u>					
<b>CD TOTAL</b>	<u>\$ 11,995,000</u>	<u>\$ 11,776,587</u>					

**City of Clovis  
Municipal Securities  
As of May 31, 2022**

AGENDA ITEM NO. 9.

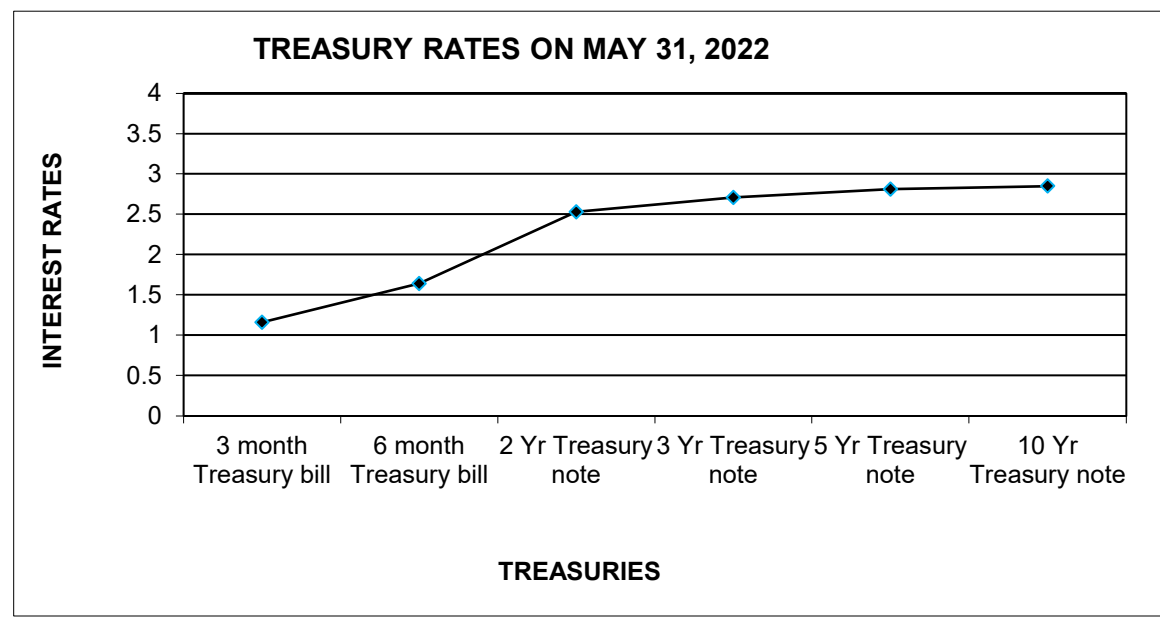
<b>Municipal Securities</b>	<b>COST</b>	<b>MARKET PRICE</b>	<b>INTEREST RATE</b>	<b>INVEST DATE</b>	<b>MATURITY DATE</b>	<b>MATURITY FROM 05/31/22</b>	<b>INTEREST FREQUENCY</b>
Huntington Beach Pension Bond	1,000,000	974,130	0.381%	04/01/21	06/15/23	380	QUARTERLY
Fresno Unified Taxable Go Ref Bond	500,000	488,315	0.462%	09/30/20	08/01/23	427	QUARTERLY
Pomona Cali Uni Sch Dist Go Bond	815,000	797,266	0.534%	10/20/20	08/01/23	427	QUARTERLY
San Jose CA USD Ref Bond	775,000	753,897	0.221%	01/20/21	08/01/23	427	QUARTERLY
Vista CA USD Ref Bond	750,000	730,343	0.221%	01/20/21	08/01/23	427	QUARTERLY
William Hart Cali HS Go Bond	1,000,000	974,980	0.366%	12/23/20	08/01/23	427	QUARTERLY
Jefferson Cali Elem Sch Dist Go Bond	710,000	690,681	0.399%	10/27/20	09/01/23	458	QUARTERLY
Santa Rosa Calif Watr Ref Bond	350,000	341,327	0.578%	12/01/20	09/01/23	458	QUARTERLY
California St Univ Ref Bond	3,455,000	3,346,824	0.475%	04/01/22	11/01/23	519	QUARTERLY
Santa Ana College Ref Bond	440,000	416,495	0.644%	12/17/21	08/01/24	793	QUARTERLY
Antelope Valley CA Ref Bond	750,000	715,320	1.767%	05/12/22	08/01/25	1,158	QUARTERLY
Chabot Las Positas Cmnty Clg Bond	1,490,000	1,382,154	0.880%	04/29/22	08/01/25	1,158	QUARTERLY
Santa Ana CCD Ref Bond	250,000	229,828	0.744%	05/12/22	08/01/25	1,158	QUARTERLY
Los Angeles CA USD Ref Bond	1,000,000	917,110	1.455%	11/15/21	07/01/26	1,492	QUARTERLY
Huntington Beach HS Dist Ref Bond	3,305,000	3,009,830	1.208%	04/29/22	08/01/26	1,523	QUARTERLY
Placentia Yorba USD Ref Bond	1,110,000	1,013,885	1.070%	05/31/22	08/01/26	1,523	QUARTERLY
San Diego CA Cmnty Ref Bond	470,000	452,836	2.299%	04/29/22	08/01/26	1,523	QUARTERLY
San Ramon Valley CA USD Ref Bond	2,125,000	1,943,419	1.147%	11/03/21	08/01/26	1,523	QUARTERLY
Fremont CA USD Ref Bond	1,140,000	1,067,849	2.000%	05/31/22	08/01/27	1,888	QUARTERLY
<b>Mun. Securities TOTAL</b>	<u>\$ 21,435,000</u>	<u>\$ 20,246,488</u>					
<b>Municipal Securities TOTAL</b>	<u><u>\$ 21,435,000</u></u>	<u><u>\$ 20,246,488</u></u>					



**CITY OF CLOVIS  
FINANCE DEPARTMENT  
MAY 31, 2022 TREASURY RATES**

**Treasury Rates as of May 31, 2022**

3 month Treasury bill	1.16
6 month Treasury bill	1.64
2 Yr Treasury note	2.53
3 Yr Treasury note	2.71
5 Yr Treasury note	2.81
10 Yr Treasury note	2.85



As indicated in the above graph, treasuries increase from 3-month to 10-year notes.



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Finance Department

DATE: September 12, 2022

SUBJECT: Finance – Receive and File – Treasurer’s Report for the Month of May 2022.

ATTACHMENTS: 

1. Summary of Cash Balances
2. Summary of Investment Activity
3. Investments with Original Maturities Exceeding One Year

Attached for the Council’s information is the Treasurer’s Report for the month ended May 31, 2022.

Pursuant to Section 41004 of the Government Code of the State of California, the City Treasurer is required to submit a monthly report of all receipts, disbursements, and fund balances. Attachment 1 provides a summary of the beginning balance, total receipts, total disbursements, ending balance for all funds, and a listing, by fund, of all month end fund balances. Attachment 2 summarizes the investment activity for the month and distribution, by type of investment, held by the City. Attachment 3 lists all investments with original maturities exceeding one year as of the month ended May 31, 2022.

Prepared by: Jeffrey Blanks, Deputy Finance Director

Reviewed by: City Manager *AA*

**City of Clovis**  
**Statement of Cash Balances**  
**As of May 31, 2022**

<b>Previous Balance</b>	\$	5,227,578.97
<b>Deposits</b>		27,974,293.51
<b>Disbursements</b>		<u>(29,118,926.03)</u>
<b>Current Balance</b>	\$	<u><u>4,082,946.45</u></u>

<u>FUNDS</u>	<u>BALANCE</u>
100 General Fund	\$ 16,281,184.09
201 Local Transportation	21,557,218.85
202 Parking and Business Improvements	186,927.76
203 Off Highway Use	71,175.22
204 Community Facilities District 2020-1	101,505.80
205 Senior Citizen Memorial Trust	55,084.43
207 Landscape Assessment District	7,604,467.71
208 Blackhorse III (95-1) Assessment District	131,415.16
301 Park & Recreation Acquisition	9,755,357.30
305 Refuse Equipment Reserve	1,923,376.73
310 Special Street Deposit Fund	36,273,014.83
313 Successor Agency	(89,403.00)
314 Housing Successor Agency	1,354,712.18
402 1976 Fire Bond Redemption	25,475.23
404 1976 Sewer Bond Redemption Fund	410,815.78
501 Community Sanitation Fund	15,291,936.61
502 Sewer Service Fund	34,725,150.25
504 Sewer Capital Projects-Users	746,783.91
506 Sewer Capital Projects-Developer	5,753,433.59
507 Water Service Fund	50,075,219.78
508 Water Capital Projects-Users	7,138,434.89
509 Water Capital Projects-Developer	9,645,965.55
515 Transit Fund	6,149,239.91
540 Planning & Development Services	16,938,501.80
601 Property & Liability Insurance	1,745,918.58
602 Fleet Maintenance	21,242,337.78
603 Employee Benefit Fund	12,374,103.23
604 General Government Services	21,723,352.02
701 Curb & Gutter Fund	162,371.62
703 Payroll Tax & Withholding Fund	1,253,417.99
712 Temperance/Barstow Assmt Dist (98-1)	76,627.56
713 Shepherd/Temperance Assmt Dist (2000-1)	5,790.96
715 Supp Law Enforcement Serv	297,106.08
716 Asset Forfeiture	200,983.84
720 Measure A-Public Safety Facility Tax	1,607.26
736 SA Admin Trust Fund	1,421.40
741 SA Debt Service Trust Fund	(50,372.59)
747 Housing Successor Trust Fund	1,137.98
<b>SUBTOTALS</b>	<u>\$ 301,142,798.07</u>
999 Invested Funds	<u>(297,059,851.62)</u>
<b>TOTAL</b>	<u><u>\$ 4,082,946.45</u></u>

**City of Clovis  
Summary of Investment Activity  
For the month of May 31, 2022**

<hr/> <hr/>		
<u>Balance of Investments Previous Month End</u>		<u>\$286,093,025.62</u>
<u>Time Certificates of Deposit Transactions</u>		
Investments	750,000.00	
Withdrawals	<u>(500,000.00)</u>	
<b>Total CD Changes</b>		250,000.00
<u>Other Changes</u>		
Government Securities	0.00	
Local Agency Investment Fund	0.00	
Municipal Securities	3,250,000.00	
Sweep Account	<u>7,466,826.00</u>	
<b>Total Other Changes</b>		<u>10,716,826.00</u>
<b>Balance of Investments Current Month End</b>		<u>\$ 297,059,851.62</u>

**City of Clovis  
Distribution of Investments  
As of May 31, 2022**

<hr/> <hr/>	
Insured CD's	11,995,000.00
Government Securities	135,597,606.85
US Treasury Notes	0.00
Local Agency Investment Fund	74,511,731.22
Municipal Securities	21,435,000.00
Sweep Account	<u>53,520,513.55</u>
<b>Investment Total</b>	<u>\$ 297,059,851.62</u>

**City of Clovis**  
**Original Maturities Exceeding One Year**  
**As of May 31, 2022**

<b>Institution</b>	<b>Face Value</b>	<b>Investment Balance At Amortized Cost</b>	<b>Maturity</b>	<b>Stated Rate</b>
FFCB	6,000,000.00	6,005,232	6/14/2022	1.875%
FAMCMTN	6,000,000.00	6,007,803	6/21/2022	1.950%
FFCB	3,000,000.00	3,002,074	8/22/2022	1.625%
FHLB	6,000,000.00	6,025,738	9/9/2022	2.000%
FFCB	3,000,000.00	2,993,412	10/11/2022	1.375%
FFCB	5,000,000.00	5,003,819	10/13/2022	1.600%
FHLB	5,000,000.00	5,022,769	12/9/2022	1.875%
FHLB	8,000,000.00	8,021,152	12/9/2022	1.875%
FAMCMTN	8,500,000.00	8,523,948	2/27/2023	1.350%
FHLB	13,000,000.00	13,319,589	3/10/2023	2.125%
FHLB	5,000,000.00	5,145,268	3/10/2023	2.125%
FFCB	5,000,000.00	5,000,000	3/1/2024	0.250%
FFCB	2,000,000.00	1,999,111	3/18/2024	0.300%
FHLB	5,000,000.00	5,000,000	6/7/2024	0.350%
FHLB	5,000,000.00	4,970,369	11/15/2024	1.050%
FHLB	4,000,000.00	3,980,830	2/28/2025	1.750%
FHLB	4,000,000.00	4,000,000	4/25/2025	2.750%
FAMCMTN	4,000,000.00	3,950,319	7/28/2025	0.750%
FAMCMTN	5,000,000.00	4,950,975	9/8/2025	0.600%
FHLB	5,000,000.00	4,965,093	2/11/2026	0.580%
FHLB	4,000,000.00	3,925,490	2/24/2026	0.750%
FFCB	5,000,000.00	4,968,730	9/28/2026	0.940%
FHLB	6,000,000.00	5,988,450	11/24/2026	1.250%
FHLB	5,000,000.00	5,124,502	12/11/2026	2.125%
FHLB	4,000,000.00	3,702,935	2/26/2027	0.900%
FHLB	4,000,000.00	4,000,000	3/8/2027	2.375%



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: General Services Department

DATE: September 12, 2022

SUBJECT: General Services – Approval - Claim Rejection of the General Liability Claim on behalf of Cynthia Enns, Elwood Enns, and the Estate of Carson Warren Enns.

ATTACHMENTS: None.

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

For City Council to reject the General Liability Claim filed on behalf of Cynthia Enns, Elwood Enns, and the Estate of Carson Warren Enns.

### **EXECUTIVE SUMMARY**

Maria Gomez filed a claim on behalf of Cynthia Enns, Elwood Enns, and the Estate of Carson Warren Enns (claimants). The City received a claim form on August 11, 2022, alleging the City of Clovis caused a dangerous condition by failing to provide warnings or signs of risks and hazards, which resulted in the death of Carson Enns while riding his motorcycle. It is recommended that the City reject the claim, send notice of rejection, and refer the matter to the City's third-party administrator for liability claims for further investigation and handling.

### **BACKGROUND**

On August 11, 2022, a general liability claim was received on behalf of Cynthia Enns, Elwood Enns, and the Estate of Carson Warren Enns by their attorney Maria Gomez. The claim was considered legally sufficient and timely. The claim alleges that the City of Clovis failed to provide any warnings or signs regarding the risks, hazards, and dangerous condition on the roadway at Copper Avenue near Peach Avenue.

The claimant seeks damages for wrongful death, past, and future loss of financial support, and other damages. The claim has been filed as a "civil unlimited case".

**FISCAL IMPACT**

Rejection of the claim does not result in any fiscal impact.

**REASON FOR RECOMMENDATION**

It is recommended that the claim be rejected. The City is not liable for this claim. In addition, by rejecting this claim the time in which lawsuits may be filed against the City will begin to run.

**ACTIONS FOLLOWING APPROVAL**

A rejection notice letter will be sent to the claimants informing them that the claim has been rejected.

Prepared by: Charles W. Johnson, Management Analyst

Reviewed by: City Manager *AH*



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: General Services

DATE: September 12, 2022

SUBJECT: General Services – Approval – Res. 22-\_\_\_\_, Authorizing Amendments to the Senior Systems Video Analyst Classification in the Police Department.

ATTACHMENTS: 1. Resolution

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

For the City Council to approve a resolution authorizing amendments to the Senior Systems Video Analyst classification in the Police Department.

### **EXECUTIVE SUMMARY**

It is necessary to revise the Senior Systems Video Analyst classification in the Police Department in order to update the education and experience sections of the classification, and to change the salary schedule. Modification of the City's Classification Plan requires the City Council's approval.

### **BACKGROUND**

An analysis was conducted of the Senior Systems Video Analyst classification in advance of an upcoming recruitment. The analysis revealed that the education and experience section needed to be updated to accurately depict the required qualifications necessary for the incumbent to be successful in the position. In addition, the salary will be reduced to be \$6,446 to \$7,834 which is similar to other positions with similar classifications. Revisions to the classification are included in the update shown in Attachment A, additions are noted in yellow, and deletions are noted by strikeouts.

This position is in the Clovis Public Safety Employee's Association (CPSEA) bargaining unit. The revisions have been reviewed and approved by the bargaining unit.



**FISCAL IMPACT**

This classification is currently in the fiscal year 2022-23 budget, and there is no additional fiscal impact.

**REASON FOR RECOMMENDATION**

The Senior Systems Video Analyst classification is recommended for revision in order to update the education and experience section to better suit the department's needs. The recommended changes to the City's Classification Plan and salary range require Council approval.

**ACTIONS FOLLOWING APPROVAL**

The City's Classification and Compensation Plan will be updated to reflect the changes which are noted in Attachment A of Attachment 1. The CPSEA Salary Schedule will be revised to reflect the revised salary range.

Prepared by: Shonna Halterman, General Services Director

Reviewed by: City Manager *AH*

RESOLUTION 22-\_\_\_\_

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS  
APPROVING AMENDMENTS TO THE CITY’S CLASSIFICATION PLAN FOR THE  
SENIOR SYSTEMS VIDEO ANALYST IN THE POLICE DEPARTMENT

**WHEREAS**, it has been determined that amendments to the classification and updates to the education and experience sections of the Senior Systems Video Analyst classification are necessary in order to recruit for this position; and

**WHEREAS**, changes to the Senior Systems Video Analyst classification include revisions to the five-step salary range which is revised to be \$6,446 to \$7,834; and

**WHEREAS**, modification of the City’s Classification Plan requires authorization by the City Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City of Clovis that the City of Clovis shall modify the City’s Classification Plan to include the revised Senior Systems Video Analyst specification in Attachment A.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

DATED: September 12, 2022

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**City of Clovis**  
**SENIOR SYSTEMS VIDEO ANALYST**  
**\$6,446 - \$7,834**

**DEFINITION**

Under general supervision provides a wide range of professional, technical support services to City staff in designing, installing, operating, and maintaining the City's complex camera video surveillance systems, including network administration, system administration, communications infrastructure, strategic system technical support, and end user applications; and to perform related work as required.

**CLASS CHARACTERISTICS**

The Senior Systems Video Analyst provides a wide range of professional, advanced technical support services to City staff in designing, installing, operating, and maintaining the City's complex camera video surveillance systems, including network administration, system administration, communications infrastructure, strategic system technical support, and end user applications. Instructions given by the supervisor generally do not provide all of the information needed to complete an assignment. Incumbents are expected to resolve most problems confronted through the application of technical knowledge, judgment, and precedent; referring to the supervisor only those problems which involve the establishment of new procedures, or which involve solutions which are inconsistent with departmental procedures and policies. The incumbent has some independence in selecting work methods or procedures.

**EXAMPLES OF DUTIES**

Ability to analyze problems, information requirements, and needs, develop logical solutions, read, and comprehend technical information, and document technical information in writing; analyzes, designs, implements, and maintains video surveillance systems for the City and associated City Departments, and agencies; assists in the maintenance of the City's fiber optic network and infrastructure; assists with analyzing software and hardware needs; makes recommendations for acquisition, improvements, and enhancements; assists with technical problems and design issues; familiarity with infrastructure components; installs and tests a variety of telecommunications and video network cabling infrastructure, including hybrid, fiber optic, copper, horizontal and coaxial cable; reviews blueprints and as-builts; using appropriate industry standards, constructs and installs indoor and outdoor telecommunications video cable plant facilities, riser and horizontal wiring, and cabling systems, including wire, cable, fiber optics, terminal blocks, patch panels, jacks, Main Distribution Frames (MDFs) and Intermediate Distribution Frames (IDFs); conducts testing of installed and terminated wire to ensure proper connectivity and transmission in accordance with applicable standards; ensures all required labeling and documentation is accurate and complete; prepares and maintains documentation and records of work requested and performed; updates as-built drawings, facilities management documents, and cable plant records to reflect installations, changes, or deletions; undertakes special projects at the direction of the Department Head (or designee); works closely with vendors for support and purchase of technology system hardware, software, and equipment; works with various departmental staff throughout the City, contractors, and vendors to analyze, recommend, and implement solutions to business function requirements; assists in

the training of less experienced staff; operates City vehicles; responds to emergency situations during or after hours for the purpose of resolving immediate safety/security concerns; and performs related work as required.

## TYPICAL QUALIFICATIONS

### LICENSE AND CERTIFICATION

License Required:

- Possession of a valid California Driver's License and a good driving record.

Certifications Desirable:

- Current industry video management systems;
- Network switching.

### EDUCATION AND EXPERIENCE

~~Any combination of education and experience equivalent to:~~

~~Education:~~

- Graduation from an accredited college or university with a Bachelor's Degree with major course work in Technology or a closely related field **AND** two (2) years of **full-time work** experience performing technology related functions such as network administration, system administration, communication infrastructure, strategic system technical support, or advanced technical support services.
- Experience over and above the years required as stated above may be substituted for the equivalent of up to two years of education in the following manner:
  1. An additional two years of full-time work experience performing technology related functions such as network administration, system administration, communication infrastructure, strategic system technical support, or advanced technical support services may be substituted for one year of education equivalent to 30 semester units (a total of four years of experience).
  2. An additional four years of full-time work experience performing technology related functions such as network administration, system administration, communication infrastructure, strategic system technical support, or advanced technical support services may be substituted for two years of education equivalent to 60 semester units (a total of six years of experience).

Desirable Experience:

- Experience in design, management, and performing installation, servicing, troubleshooting, and repair of security system equipment is desired for:
  - Closed-circuit television (CCTV);
  - Video camera systems and infrastructure.

### QUALIFICATIONS

Knowledge of:

- Federal, state, and local laws, rules, and regulations related to telecommunications camera, video, and audio surveillance systems and equipment;

- Video network architectures, configurations, protocols, and inter-connectivity requirements including wireless infrastructure protocols, and associated access control technologies;
- Local and wide area networks and data communication systems, including cabling, servers, workstations and peripherals, interface cards, routers, switches, and firewalls;
- Network protocols, operating systems, Internet, Intranet, and remote access systems;
- Basic system security principles and practices;
- Basic principles and theories of electricity, electronics, and computer hardware and software design as they relate to installation, maintenance, and troubleshooting of telecommunication systems and equipment;
- Appropriate safety precautions and procedures.

#### Ability to:

- Analyze complex computer video system hardware and software requirements;
- Analyze data communications, networks, hardware, and software problems and determine feasible solutions;
- Communicate effectively orally and in writing;
- Develop and implement operational policies and procedures;
- Effectively manage technology projects including the direction of others;
- Establish and maintain effective working relationships with co-workers, representatives of user departments, outside agencies, and the public;
- Maintain the confidentiality of privileged information;
- Operate a vehicle, observing legal and defensive driving practices;
- Prepare clear, accurate, and concise reports and records;
- Read and understand blueprints and technical documentation;
- Think globally and design a task oriented plan and implement;
- Understand and apply federal, state, and local laws, rules, and regulations regarding telecommunications for camera, video, and audio surveillance systems and equipment;
- Use equipment, tools, media, and other materials in constructing, servicing, installing, and repairing telecommunications systems, facilities, and equipment;
- Use technology related test equipment;
- Work with a wide variety of technology related hand tools and components.

#### **PHYSICAL DEMANDS AND WORKING CONDITIONS**

Incumbents in this class are required to successfully perform the essential functions as specified;

- **Strength:** Moderate work-lifting, caring and/pushing 50 pounds maximum with frequent lifting and/or carrying of objects weighing up to 50 pounds;
- **Physical:** Talking, feeling, finger dexterity, frequent grasping and holding, reaching, bending, climbing, crawling, balancing, standing, walking, kneeling, squatting, and stooping on level and uneven surfaces; work in confined spaces; climb in and out of a bucket truck and balance while working at a height above 40 feet; perform work around high volume moving traffic and exposure to electrical hazards of medium to high voltage, moving mechanical parts, and vibrations;
- **Hearing:** Sufficient to work safely around traffic with the ability to hear in loud conditions and may be required to wear ear protection;

- Vision: Corrected to normal, including color vision sufficient to distinguish colored indicator lights and wires;
- Environment: Ability to work in all weather conditions with the ability to work outdoors in the heat and humidity when over 100 degrees in the summer and in the cold and rain during the winter months; exposure to dust, poor ventilation, chemicals, fumes, storm water, wastewater, and in other environmental substances that are present.



# CITY of CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: September 12, 2022

SUBJECT: Planning and Development Services – Approval – Res. 22-\_\_\_\_, Final Map Tract 6389, located in the southwest area of Loyola and North De Wolf Avenues (Granville Homes).

ATTACHMENTS: 1. Res. 22-\_\_\_\_  
2. Vicinity Map  
3. Copy of Final Map

### CONFLICT OF INTEREST

None.

### RECOMMENDATION

For the City Council to approve Res. 22-\_\_\_\_, which will:

1. Accept the offer of dedication of parcels and public utility easements within Tract 6389; and
2. Authorize the recording of the final map.

### EXECUTIVE SUMMARY

The owner, Granville Homes, acting as the subdivider, has submitted a final map. The improvement plans are being processed by City staff. The improvements to be installed include curb, gutter, sidewalk, streetlights, fire hydrants, street paving, sanitary sewer, water mains, and landscaping. The subject tract is in the southwest area of Loyola and North De Wolf Avenues. It contains approximately 12.51 acres and consists of 40 residential units, zoned R-1-PRD.

### FISCAL IMPACT

The subdivider will be installing curb, gutter, sidewalk, fire hydrants, street paving, sanitary sewer, water mains, and landscaping, which will be perpetually maintained by the City of Clovis. For the streetlights, the City will pay for the power and PG&E will provide the maintenance.

### REASON FOR RECOMMENDATION

The subdivision agreement has been executed by the subdivider and all development fees paid or deferred in accordance with the Municipal Code. The agreement provides for the developer

to complete a technically correct map and improvement plans, and to complete all the required improvements in compliance with the conditions of approval. The improvements are adequately secured.

**ACTIONS FOLLOWING APPROVAL**

The final map will be filed with the Fresno County Recorder's office for recording.

Prepared by: Tiffany Ljuba-Silguero, Engineer II

Reviewed by: City Manager AA



**RESOLUTION 22-\_\_\_\_**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS  
APPROVING FINAL SUBDIVISION MAP FOR TRACT NO. 6389**

**WHEREAS**, a final map has been presented to the City Council of the City of Clovis for Tract 6389, by The City of Clovis, a Municipal Corporation; and

**WHEREAS**, said final tract conforms to the requirements of Chapter 2, Part 2, of Division 4 of the Business and Professions Code and to local ordinances.

**NOW, THEREFORE, BE IT RESOLVED**, that the City of Clovis:

1. The final map of Tract 6389, consisting of two (2) sheets, a copy of which is on file with the City Clerk, be and the same is hereby approved.
2. The subdivision improvement plans for said tract have been approved by City Staff.
3. The preliminary Engineer's Cost Estimate of development cost of said tract, a copy of which is on file with the City Clerk, be and the same is hereby approved and adopted as the estimated cost of improvements for said subdivision in the sum of \$870,000.00.
4. The offer and dedication for public use of the parcels and easements specified on said map are accepted by the City of Clovis and the City Clerk is authorized and directed to execute said subdivision map.
5. This Council finds that the proposed subdivision, together with the provisions for its design and improvement, are consistent with applicable general and specific plans of the City of Clovis.
6. Improvement Security, as provided hereunder and in said Subdivision Agreement, is fixed at one hundred percent (100%) of the remaining improvements to be constructed or the sum of \$870,000.00 for guaranteeing specific performance of said agreement and fifty percent (50%) of the remaining improvements or the sum of \$435,000.00 for payment of labor and materials furnished by contractors, subcontractors, labormen and materialmen in connection with the improvements required to be made or constructed by said subdivider in conformity with said subdivision map or said agreement.
7. Subdivider shall furnish a bond in the sum of \$87,000.00 being the amount determined by the City Council of the City as necessary for the guarantee and warranty of the work for a period of one year following the completion and acceptance of the tract against any defective work or labor done, or defective materials furnished. Said bond is required to be furnished prior to acceptance of the tract by the City Council.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

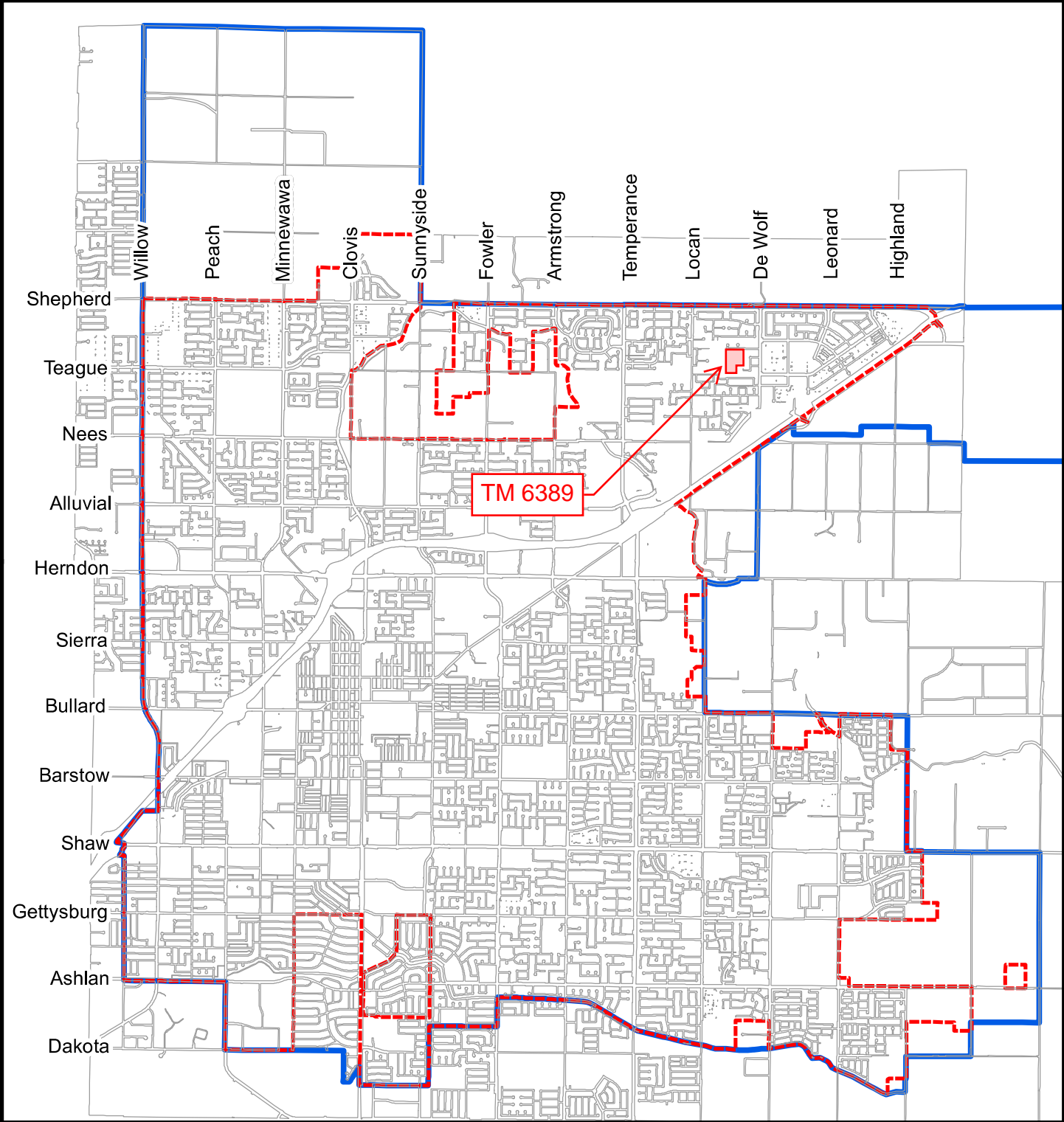
- AYES:
- NOES:
- ABSENT:
- ABSTAIN:
  
- DATED:

\_\_\_\_\_  
Mayor

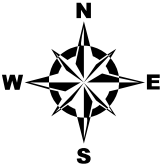
\_\_\_\_\_  
City Clerk

# VICINITY MAP

TM 6389 (Granville Homes)



## Attachment 2



OWNER'S STATEMENT

THE UNDERSIGNED, BEING ALL PARTIES HAVING ANY RECORD TITLE INTEREST IN THE LAND WITHIN THIS SUBDIVISION, HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THIS MAP AND OFFER FOR PUBLIC USE THE PARCELS AND EASEMENTS SPECIFIED ON SAID MAP AS INTENDED FOR PUBLIC USE FOR THE PURPOSES SPECIFIED THEREIN.

GRANVILLE HOMES, INC., A CALIFORNIA CORPORATION

BY: DARIUS ASSEMI PRESIDENT

WELLS FARGO BANK, NATIONAL ASSOCIATION, A NATIONAL BANKING ASSOCIATION, AS BENEFICIARY

BY: MINDI WEBER SENIOR VICE PRESIDENT

TRACT NO. 6389

BEING A MERGER AND RE-SUBDIVISION OF A PORTION OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA SURVEYED AND PLATTED IN SEPTEMBER 2021, BY BRET A. GIANNETTA CONSISTING OF TWO SHEETS SHEET ONE OF TWO SHEETS

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER, NORTH 89°59'38" EAST, A DISTANCE OF 1,352.67 FEET FROM THE WEST QUARTER CORNER OF SAID NORTHWEST QUARTER; THENCE NORTHWESTERLY ALONG A NON-TANGENT CURVE, WHOSE RADIUS POINT BEARS SOUTH 89°59'38" WEST, HAVING A RADIUS OF 65.00 FEET, THROUGH A CENTRAL ANGLE OF 30°49'45"; A DISTANCE OF 41.78 FEET; THENCE NORTHWESTERLY ALONG A REVERSE CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 35.00 FEET, THROUGH A CENTRAL ANGLE OF 37°07'50"; A DISTANCE OF 22.68 FEET; THENCE NORTH 00°17'43" EAST, A DISTANCE OF 299.13 FEET; THENCE NORTH 89°59'05" EAST, A DISTANCE OF 5.00 FEET; THENCE NORTH 00°17'43" EAST, A DISTANCE OF 278.49 FEET; THENCE NORTH 07°38'11" EAST, A DISTANCE OF 45.00 FEET; THENCE NORTH 00°17'43" EAST, A DISTANCE OF 308.21 FEET TO THE INTERSECTION WITH THE NORTH LINE OF LOT 43 IN BLOCK 2 OF CARSON CALIFORNIA FIG ORCHARDS, RECORDED IN BOOK 7 OF RECORD OF SURVEYS, AT PAGE 50, FRESNO COUNTY RECORDS; THENCE NORTH 89°58'37" EAST, A DISTANCE OF 640.35 FEET TO THE NORTHEAST CORNER OF SAID LOT 43; THENCE SOUTH 00°20'33" WEST, ALONG THE EAST LINE OF LOTS 43, 42 AND 41 IN SAID BLOCK 2, A DISTANCE OF 690.39 FEET; THENCE SOUTH 89°59'05" WEST, PARALLEL WITH AND 30.00 FEET SOUTH OF THE NORTH LINE OF SAID LOT 41, A DISTANCE OF 312.51 FEET; THENCE SOUTH 00°20'33" WEST, PARALLEL WITH AND 312.50 FEET WEST OF THE EAST LINE OF SAID LOT 41, A DISTANCE OF 300.31 FEET TO THE INTERSECTION WITH SAID SOUTH LINE OF THE NORTHWEST QUARTER; THENCE SOUTH 89°59'38" WEST, A DISTANCE OF 317.50 FEET TO THE POINT OF BEGINNING.

NOTARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA } COUNTY OF FRESNO } ON ... BEFORE ME, ... PERSONALLY APPEARED ... WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND SIGNATURE NAME COUNTY OF MY COMMISSION EXPIRES MY COMMISSION NUMBER

NOTARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA } COUNTY OF FRESNO } ON ... BEFORE ME, ... PERSONALLY APPEARED ... WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND SIGNATURE NAME COUNTY OF MY COMMISSION EXPIRES MY COMMISSION NUMBER

THIS PROPERTY IS SUBJECT TO THE FOLLOWING:

- 1. THE EFFECT OF AN INSTRUMENT ENTITLED "BEFORE THE BOARD OF DIRECTORS OF THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT RESOLUTION PROVIDING FOR THE RECORDATION OF A MAP IDENTIFYING AREAS SUBJECT TO PAYMENT OF DRAINAGE FEES AND/OR REQUIREMENTS TO CONSTRUCT PLANNED LOCAL DRAINAGE FACILITIES" EXECUTED BY FRESNO METROPOLITAN FLOOD CONTROL DISTRICT AND CITY OF FRESNO, RECORDED JULY 31, 1995 AS DOCUMENT NO. 95092128, OFFICIAL RECORDS, OFFICIAL RECORDS. 2. AMENDED NOTICE OF TAX LIEN, CITY OF CLOVIS COMMUNITIES FACILITIES DISTRICT NO. 2004-1 (POLICE AND FIRE SERVICES) ANNEXATION NO. 89, RECORDED SEPTEMBER 18, 2020 AS DOCUMENT NO. 2020-0126889, FRESNO COUNTY RECORDS. 3. RESOLUTION NO. 20-98 OF THE CITY COUNCIL OF THE CITY OF CLOVIS, RECORDED SEPTEMBER 28, 2020 AS DOCUMENT NO. 2020-0132581, FRESNO COUNTY RECORDS. 4. DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND NOTICE OF CERTAIN MATTERS FOR DEANVILLE EAST (TRACT 6239, ET AL), RECORDED FEBRUARY 19, 2021 AS DOCUMENT NO. 2021-0028398, FRESNO COUNTY RECORDS. 5. AMENDED NOTICE OF SPECIAL TAX LIEN, CITY OF CLOVIS COMMUNITY FACILITIES DISTRICT NO. 2004-1 (POLICE AND FIRE SERVICES) ANNEXATION NO. 69, RECORDED JUNE 28, 2021 AS DOCUMENT NO. 2021-0104658, FRESNO COUNTY RECORDS.



SURVEYOR'S STATEMENT:

THE SURVEY FOR THIS MAP WAS MADE BY ME OR UNDER MY DIRECTION AND IS TRUE AND COMPLETE AS SHOWN.

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF DARIUS ASSEMI ON AUGUST 1, 2021. I HEREBY STATE THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN THOSE POSITIONS ON OR BEFORE ONE YEAR OF THE DATE THIS MAP IS RECORDED, OR ANY TIME EXTENSION APPROVED BY THE CITY ENGINEER. THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

BRET A. GIANNETTA, P.L.S. 8177 LIC. EXP. 12/31/22 DATE

CITY ENGINEER'S STATEMENT

I, MICHAEL J. HARRISON, CITY ENGINEER OF THE CITY OF CLOVIS, HEREBY STATE THAT I HAVE CAREFULLY EXAMINED THIS MAP, THAT THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THEREOF, AND THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH.

MICHAEL J. HARRISON R.C.E. 60953 EXP. 12/31/22 DATE CITY ENGINEER

CITY SURVEYOR'S STATEMENT

I, JEFFREY S. LAND, CITY SURVEYOR OF THE CITY OF CLOVIS, HEREBY STATE THAT I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT, PURSUANT TO THE PROVISIONS OF THE SUBDIVISION MAP ACT.

JEFFREY S. LAND P.L.S. 8634 EXP. 12/31/23 DATE CITY SURVEYOR

CITY CLERK'S CERTIFICATE

I, KAREY CHA, DO HEREBY CERTIFY THAT THE COUNCIL OF THE CITY OF CLOVIS BY RESOLUTION ADOPTED ON ... 2022 APPROVED THE WITHIN MAP AND ACCEPTED SUBJECT TO IMPROVEMENT ON BEHALF OF THE PUBLIC ANY REAL PROPERTY AND EASEMENTS OFFERED FOR DEDICATION FOR PUBLIC USE IN CONFORMITY WITH THE TERMS OF THE OFFER OF DEDICATION.

DATE: BY: KAREY CHA, CITY CLERK

RECORDER'S CERTIFICATE:

DOCUMENT NO. FEE PAID FILED THIS ... DAY OF ... 2022, AT ... M. IN VOLUME ... OF PLATS AT PAGES ... AND ... FRESNO COUNTY RECORDS, AT THE REQUEST OF BRET A. GIANNETTA

PAUL A. DICTOS, C.P.A., FRESNO COUNTY ASSESSOR-RECORDER BY: DEPUTY

# TRACT NO. 6389

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES:

- LE LANDSCAPE EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE.
- PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE.

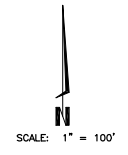
THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED IN FEE FOR PUBLIC PURPOSES:

- ▲ NOW OFFERED FOR PUBLIC STREET AND PUBLIC UTILITY PURPOSES TO THE CITY OF CLOVIS.

BEING A MERGER AND RE-SUBDIVISION OF A PORTION OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN IN THE CITY OF CLOVIS, COUNTY OF FRESNO, STATE OF CALIFORNIA SURVEYED AND PLATTED IN SEPTEMBER 2021, BY BRET A. GIANNETTA CONSISTING OF TWO SHEETS SHEET TWO OF TWO SHEETS

RADIAL	DIRECTION
R1	S 86°56'54" W
R2	N 72°19'42" E
R3	S 43°20'03" E
R4	S 17°59'56" W
R5	N 11°20'15" E
R6	S 50°21'03" W
R7	N 43°37'54" E
R8	S 63°32'39" E
R9	S 00°00'42" E

RADIAL	DIRECTION
R10	S 82°52'04" W
R11	N 51°21'42" W
R12	S 45°39'41" W
R13	S 72°33'48" W
R14	N 46°06'36" W
R15	N 00°01'23" W
R16	N 69°20'18" E
R17	S 48°43'18" E
R18	N 59°02'08" W



**BASIS OF BEARINGS**

THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, TAKEN AS BEARING NORTH 89°59'38" EAST AS PER TRACT NO. 6239, RECORDED IN VOLUME 90 OF PLATS, AT PAGES 1, 2 AND 3, FRESNO COUNTY RECORDS.

**LEGEND:**

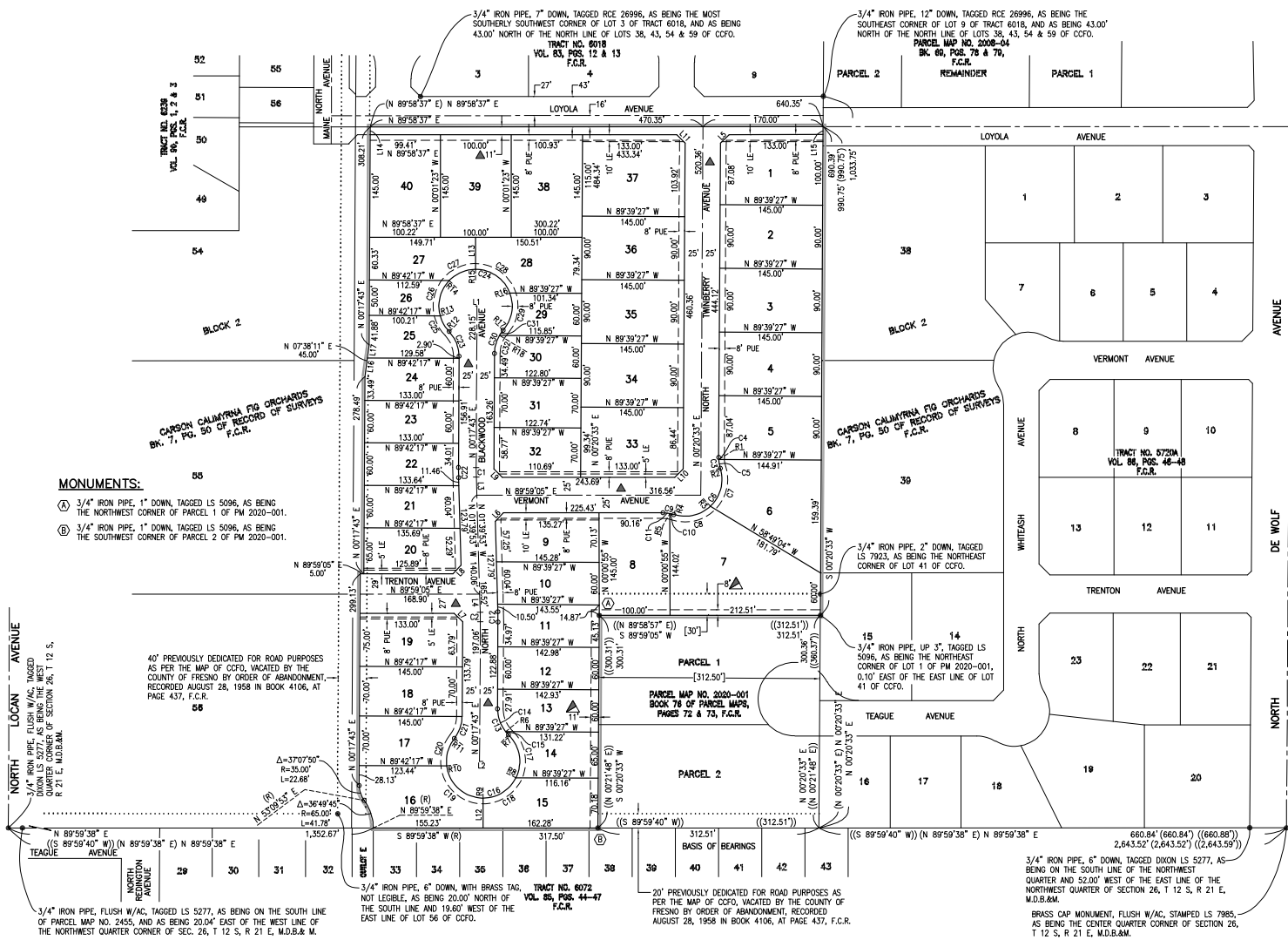
- MONUMENT FOUND AND ACCEPTED AS NOTED
- SET 3/4" IRON PIPE, 30" LONG, 6" DOWN, TAGGED LS 8177, OR AS NOTED.
- ( ) RECORD DATA AS PER TRACT NO. 6239, RECORDED IN VOLUME 90 OF PLATS, AT PAGES 1, 2 AND 3, FRESNO COUNTY RECORDS.
- [ ] RECORD DATA AS PER APPLICATION FOR PARCEL MAP NO. 2020-004, RECORDED APRIL 28, 2020 AS DOCUMENT NO. 2020-0052607, FRESNO COUNTY RECORDS.
- (( )) RECORD DATA AS PER PARCEL MAP NO. 2020-001, RECORDED IN BOOK 76 OF PARCEL MAPS, AT PAGES 72 & 73, FRESNO COUNTY RECORDS.
- ▲ DEED OF EASEMENT FOR SLOPE PURPOSES, RECORDED SEPTEMBER 16, 2020 AS DOCUMENT NO. 2020-0125004, FRESNO COUNTY RECORDS.
- CALC CALCULATED FROM RECORD DATA
- CCFO THE MAP OF CARSON CALUMNYA FIG ORCHARDS, RECORDED IN BOOK 7 OF RECORD OF SURVEYS, AT PAGE 50, FRESNO COUNTY RECORDS.
- F.C.R. FRESNO COUNTY RECORDS
- (R) INDICATES RADIAL BEARING
- INDICATES THE LIMITS OF THIS SUBDIVISION

CURVE	DELTA	RADIUS	LENGTH	CURVE	DELTA	RADIUS	LENGTH
C1	01°57'36"	400.00'	13.68'	C18	63°31'57"	52.00'	57.66'
C2	01°57'36"	400.00'	13.68'	C19	82°52'46"	52.00'	75.22'
C3	18°00'51"	50.00'	15.72'	C20	45°46'14"	52.00'	41.54'
C4	03°23'39"	50.00'	2.96'	C21	38°20'35"	50.00'	33.46'
C5	14°37'12"	50.00'	12.76'	C22	01°57'36"	425.00'	14.54'
C6	125°40'14"	52.00'	114.05'	C23	44°18'02"	50.00'	38.66'
C7	64°20'15"	52.00'	58.39'	C24	265°17'01"	52.00'	240.76'
C8	61°19'59"	52.00'	55.66'	C25	28°31'06"	52.00'	25.88'
C9	18°00'51"	50.00'	15.72'	C26	59°22'38"	52.00'	53.89'
C10	06°39'41"	50.00'	5.61'	C27	46°05'13"	52.00'	41.83'
C11	11°21'04"	50.00'	9.91'	C28	69°21'41"	52.00'	63.95'
C12	01°57'36"	425.00'	14.54'	C29	61°56'24"	52.00'	56.21'
C13	46°39'49"	50.00'	40.72'	C30	40°58'59"	50.00'	35.76'
C14	39°56'40"	50.00'	34.86'	C31	10°18'50"	50.00'	9.00'
C15	06°43'09"	50.00'	5.86'	C32	30°40'09"	50.00'	26.76'
C16	265°02'44"	52.00'	240.51'				
C17	72°49'27"	52.00'	66.09'				

**NOTE:**

- 1. SET 3/4" IRON PIPE, 6" DOWN, TAGGED LS 8177 AT ALL LOT CORNERS.

LINE	DIRECTION	DISTANCE
L1	N 89°42'17" W	2.00'
L2	N 89°42'17" W	5.00'
L3	N 01°39'53" W	25.46'
L4	N 01°39'53" W	25.46'
L5	N 45°09'35" E	17.02'
L6	N 44°09'36" E	16.92'
L7	N 44°51'36" W	16.92'
L8	N 44°09'36" E	16.92'
L9	N 44°51'36" W	16.92'
L10	N 45°09'49" E	17.02'
L11	N 44°50'25" W	16.92'
L12	N 00°00'22" W	42.06'
L13	N 00°01'23" W	45.02'
L14	N 00°17'43" E	11.00'
L15	N 00°20'33" E	11.00'
L16	N 07°38'11" E	26.73'
L17	N 07°38'11" E	18.27'





# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: September 12, 2022

SUBJECT: Planning and Development Services - Approval – Res. 22-\_\_\_\_, Annexation of Proposed Tract 6389, located in the southwest area of Loyola and North De Wolf Avenues to the Landscape Maintenance District No. 1 of the City of Clovis (Granville Homes).

ATTACHMENTS: 1. Resolution

### **CONFLICT OF INTEREST**

None.

### **RECOMMENDATION**

For the City Council to approve Res. 22-\_\_\_\_, which will annex proposed Tract 6389, located in the southwest area of Loyola and North De Wolf Avenues to the Landscape Maintenance District (LMD) No. 1 of the City of Clovis.

### **EXECUTIVE SUMMARY**

The owner, Granville Homes, acting as the subdivider, has requested to be annexed to the LMD No. 1 of the City of Clovis as set forth by the Conditions of Approval for Tentative Tract 6239.

### **BACKGROUND**

Granville Homes, the developer of Tract 6389, has executed a covenant that this development be annexed to the City of Clovis, LMD No. 1. An executed copy can be provided on request. Council formed the original District on July 15, 1985, for the purpose of funding the maintenance of landscaped areas and parks.

Under the provisions of the Landscaping and Lighting Act of 1972 and in accordance with Article XIII C and Article XIII D of Proposition 218, all the owners of property proposed for annexation have provided a written request and consent to annexation and have executed a covenant (petition) indicating acceptance of the annual assessment.

The Covenant provides for the addition of an enhanced landscape maintenance zone for the maintenance of landscape and irrigation, play equipment, a trail, and bollard lighting within the future trail along the western limits of Tract 6389 that runs between Loyola Avenue to the north

and Teague Avenue to the south. The future improvements will be completed with Tract 6332, which is a phase of the same tentative map as Tract 6389. Development properties in both Tract 6389 and Tract 6332 will pay the added assessment at the request of the developer.

**FISCAL IMPACT**

This project will add landscaping to the LMD No. 1 of the City of Clovis shown as follows:

	<u>Tract 6389</u>	<u>Year to Date</u>
LMD Landscaping added:	0.062 acres	1.228 acres
Resource needs added:	0.006 persons	0.123 persons

The resource needs estimate is based on 1 person per 10 acres of landscaped area.

**REASON FOR RECOMMENDATION**

The property owners for the subject tract have requested annexation into the City of Clovis LMD No. 1.

**ACTIONS FOLLOWING APPROVAL**

Tract 6389 shall become a part of City of Clovis LMD No. 1 and will be assessed next year for maintenance costs.

Prepared by: Tiffany Ljuba-Silguero, Engineer II

Reviewed by: City Manager *AA*

RESOLUTION 22-\_\_\_\_

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS  
APPROVING ANNEXATION TO LANDSCAPING MAINTENANCE DISTRICT NO. 1 OF THE  
CITY OF CLOVIS

**WHEREAS**, City of Clovis Landscape Maintenance District No. 1 ("District") was formed by Resolution No. 85-78, adopted July 15, 1985, pursuant to Part 2 of Division 15 of the Streets and Highways Code (Landscape and Lighting Act of 1972), herein the "Act"; and

**WHEREAS** all of the owners of property proposed to be annexed to the District consisting of proposed Tract No. 6389, as described in Attachment A attached hereto and incorporated herein by reference, have consented to said annexation and such annexation may be ordered without notice and hearing or filing of engineer's report, or both.

**NOW, THEREFORE, BE IT RESOLVED AND ORDERED**, as follows:

1. That the public interest and convenience require that certain property described in Attachment A attached hereto and by reference incorporated herein be annexed into Landscape Maintenance District No. 1 of the City of Clovis for the maintenance and servicing of landscaping facilities.
2. The City Clerk shall receive and file the maps showing the boundaries of the areas annexed as set forth in Attachment A which boundaries shall be used for assessment proceedings until and unless a change of organization is approved pursuant to the Act.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

DATED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



## **ATTACHMENT A**

### **Legal Description**

Lots 1 through 40, inclusive, of Tract Map 6389 recorded in Volume \_\_\_\_\_ of Plats at Pages \_\_\_\_\_ through \_\_\_\_\_, Fresno County Records.



# CITY of CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services Department

DATE: September 12, 2022

SUBJECT: Planning and Development Services – Approval – Bid Award for CIP 17-21 Well 35 Drilling and Development; and Authorize the City Manager to execute the contract on behalf of the City.

ATTACHMENTS: 1. Vicinity Map

### CONFLICT OF INTEREST

None.

### RECOMMENDATION

1. For the City Council to award a contract for CIP 17-21 Well 35 Drilling and Development to Strickland Enterprises, Inc. in the amount of \$674,737.30; and
2. For the City Council to authorize the City Manager to execute the contract on behalf of the City.

### EXECUTIVE SUMMARY

Staff is recommending that City Council authorize the City Manager to award and execute the contract to Strickland Enterprises, Inc., who was the lowest responsible bidder from a bid opening that took place on August 23, 2022.

This project involves construction of one new water-well with reverse rotary gravel envelope method at the City of Clovis Well Site No. 35, which is located at 2391 DeWitt Avenue, Clovis, CA 93611, in the northeast corner of DeWitt Avenue and Santa Ana Avenue near the Costco Wholesale store. The construction involves all labor, materials, tools and equipment for drilling. It also includes development of a new water well, including clearing, grubbing, earthwork, grading, concrete wellhead, concrete drive approach, temporary sound control panels, temporary security fencing, offsite temporary drainage, removal, salvage and reinstallation of existing trees and shrubs, and modifications to the existing irrigation system. The work shall include, but not be limited to, installing, and sealing a conductor casing, borehole drilling, isolating depth intervals, installation of casing, gravel pack, gravel feed tube, sounding tube, development, pump testing, and construction of concrete pump pad. The actual depth of 28-inch hole-drilling and the final design of casing will be determined based on the result from the pilot-hole test.

**BACKGROUND**

The following is a summary of the bid results of August 23, 2022:

BIDDERS	BASE BIDS
Strickland Enterprises, Inc.	\$674,737.30
American Paving Company	\$953,249.00
<b>ENGINEER'S ESTIMATE</b>	<b>\$655,435.00</b>

All bids were examined, and the bidder's submittals were found to be in order. Strickland Enterprises, Inc. is the lowest bidder. Staff has validated the lowest bidder contractor's license status and completeness of required paperwork.

**FISCAL IMPACT**

This project is budgeted in the 2022-2023 Community Investment Program. The project is funded by the Water Capital – Enterprise fund through the City Community Investment Program.

**REASON FOR RECOMMENDATION**

Strickland Enterprises, Inc. is the lowest bidder. There are sufficient funds available for the anticipated cost of this project.

**ACTIONS FOLLOWING APPROVAL**

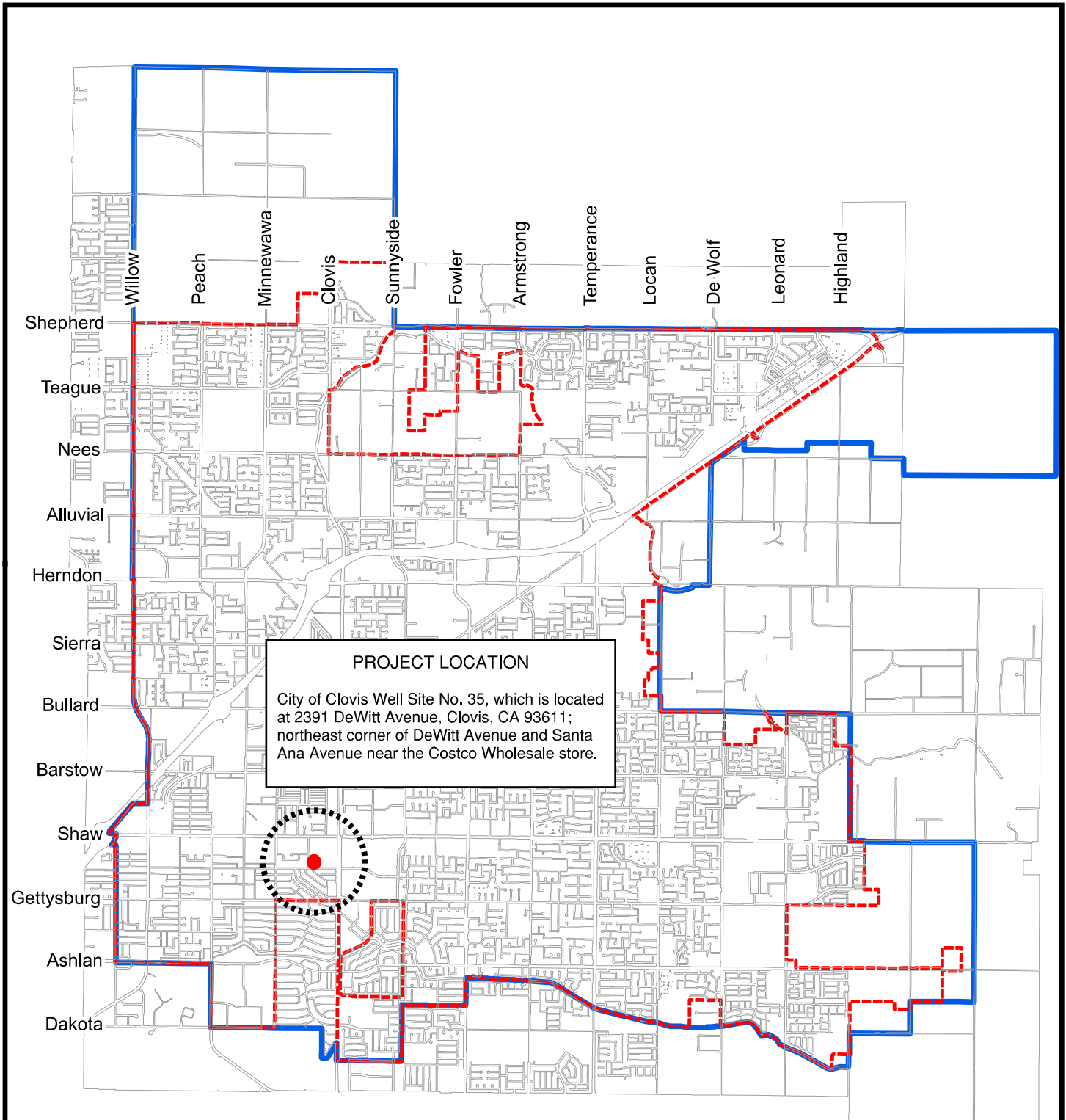
1. The contract will be prepared and executed, subject to the Contractor providing performance security that is satisfactory to the City.
2. Construction will begin approximately two (2) weeks after contract execution and shall be completed in sixty (60) working days thereafter.

Prepared by: Thomas K. Cheng, Project Civil Engineer

Reviewed by: City Manager *AK*

# VICINITY MAP

## CIP 17-21 Well 35 Drilling and Development



### Attachment 1





# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: September 12, 2022

SUBJECT: Planning and Development Services – Approval - Res. 22-\_\_\_\_, Amending the 2022-2023 Community Investment Program (CIP) budget and authorizing the execution of a real property purchase agreement for property located at 2791 Serena Avenue.

ATTACHMENTS: 1. Resolution  
2. Vicinity Map  
3. Land Use Designations  
4. Purchase Agreement

### CONFLICT OF INTEREST

None.

### RECOMMENDATION

1. For the City Council to approve a resolution amending the 2022-2023 Community Investment Program (CIP) budget for the acquisition of 2791 Serena Avenue; and
2. For the City Council to authorize the City Manager to execute a real property purchase agreement and other necessary documents for the property located at 2791 Serena Avenue.

### EXECUTIVE SUMMARY

With the approval of Tract Map 5122, east of Temperance Avenue and south of Shepherd Avenue, a temporary access was constructed on a lot at the Carson Avenue alignment to provide a temporary secondary point of access. At such time the access was no longer needed, the street improvements were to be removed and the lot developed with a single-family home. Staff has evaluated the continued need for the access and has determined it is in the City's best interest to acquire the property and have it remain an access point for the subdivision.

Staff is requesting approval for the City Manager to sign an agreement and execute the purchase of the property located at 2791 Serena Avenue. This property would be utilized as a continued access point to/from Shepherd Avenue.

## **BACKGROUND**

The subject property is addressed as 2791 Serena Avenue and is Lot 30 of Tract Map 5122, located east of Temperance Avenue and south of Shepherd Avenue (Attachments 2 and 3). The lot was developed with street improvements at the Carson alignment to provide access to Shepherd Avenue. The access was a map condition of approval to provide temporary secondary access to the subdivision for the public and emergency vehicles until further development of the area provided additional access. When no longer needed, the access would have been developed with a single-family home.

Permanent access into the subdivision is now available to and from Temperance Avenue, but after evaluation of the circulation for the area, staff has determined that it is beneficial to have the access remain to Shepherd Avenue for public safety purposes and improved emergency vehicle response to the subdivision and surrounding area.

Staff is recommending that the City purchase the real property from the seller to be used and maintained for public street purposes and other authorized public uses.

Staff has negotiated a purchase price of \$205,316.83. Execution of the proposed agreement (Attachment 4) will allow the City to open an escrow account and complete the property purchase transaction.

## **FISCAL IMPACT**

The total estimated cost to acquire the property is \$207,150.83. This includes the purchase price of \$205,316.83 and escrow fees. The purchase will be funded with a combination of funds from the General Fund (\$103,575.41) and Local Transportation funds (\$103,575.41) as outlined in the attached budget amendment (Attachment A to Attachment 1).

## **REASON FOR RECOMMENDATION**

Acquisition of the property would secure the current subdivision access point from Shepherd Avenue.

## **ACTIONS FOLLOWING APPROVAL**

Staff will execute the agreement and close escrow.

Prepared by: Ryan C. Burnett, Engineering Program Supervisor  
Jomar Rushdan, Management Analyst

Reviewed by: City Manager *AH*

RESOLUTION 22-\_\_\_\_

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS  
APPROVING AN AMENDMENT TO THE ANNUAL BUDGET FOR  
FISCAL YEAR 2022-2023

**WHEREAS**, the City Council adopted the 2022-2023 Budget on June 13, 2022; and

**WHEREAS**, the City Council approved the expenditure of funds for the 2022-2023 Community Investment Program – Local Transportation Fund; and

**WHEREAS**, the additional expenditures needed for the purchase of 2791 Serena Avenue was not anticipated or included in the 2022-2023 Community Investment Program – Local Transportation Fund.

**NOW, THEREFORE, BE IT RESOLVED**, that the City of Council of the City of Clovis approves the budget amendment as shown in the “Summary of Expenditures by Department”, “Summary of Expenditures by Fund” attached as Attachment A.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

DATED: September 12, 2022

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

## Attachment A

**SUMMARY OF EXPENDITURES BY DEPARTMENT**

## Department

Planning and Development Services	\$207,500
-----------------------------------	-----------

<b>Total</b>	<b>\$207,500</b>
--------------	------------------

**SUMMARY OF EXPENDITURES BY FUND**

## Fund

Local Transportation	\$207,500
----------------------	-----------

<b>Total</b>	<b>\$207,500</b>
--------------	------------------

**SUMMARY OF TRANSFERS BY FUND****Transfer In**

## Fund

Local Transportation	\$103,750
----------------------	-----------

<b>Total</b>	<b>\$103,750</b>
--------------	------------------

**Transfer Out**

## Fund

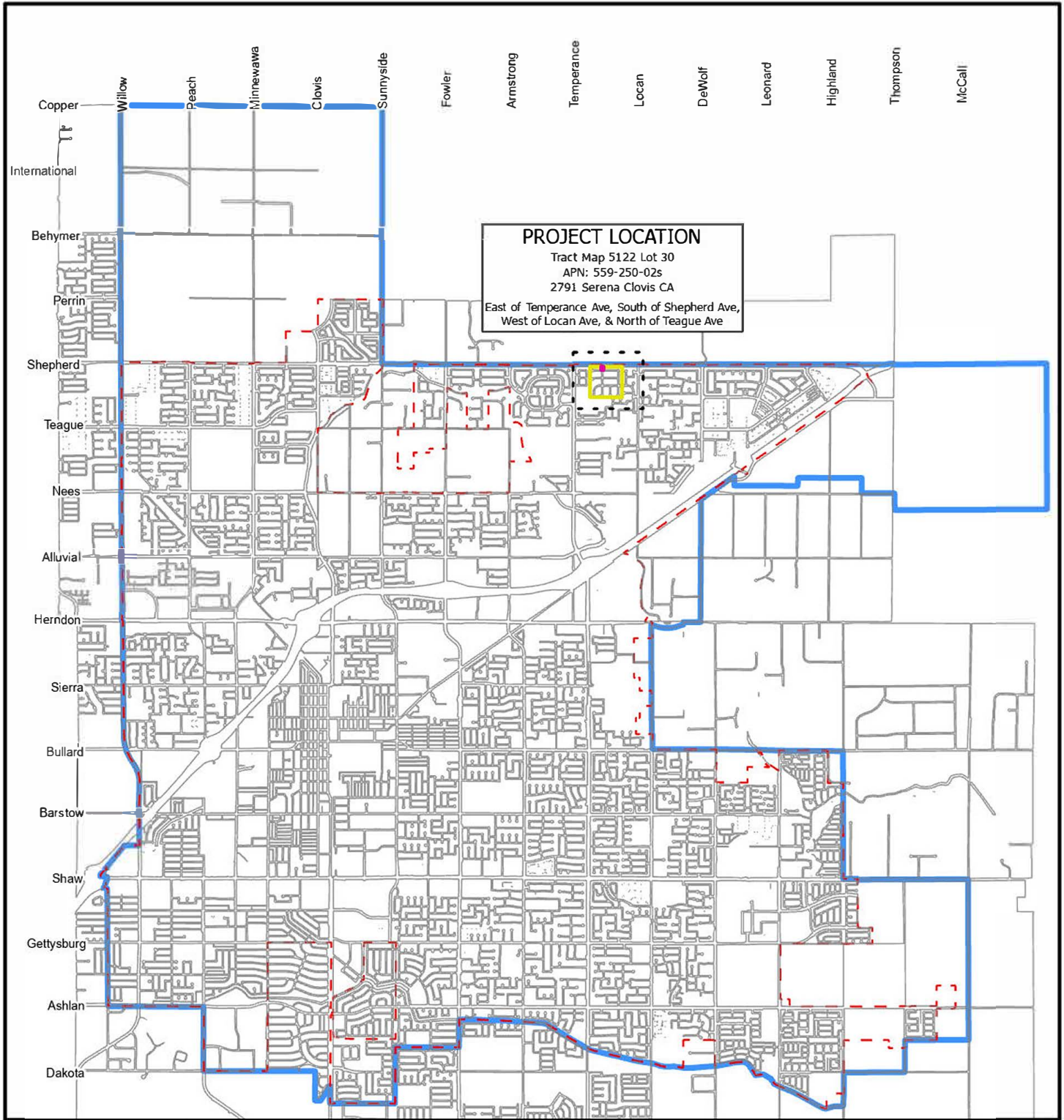
General Fund	\$103,750
--------------	-----------

<b>Total</b>	<b>\$103,750</b>
--------------	------------------



# VICINITY MAP

## LOT 30 TM 5122



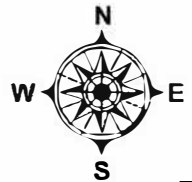
### ATTACHMENT 2



8/25/2022

CITY LIMITS

SPHERE OF INFLUENCE



1" = 87,000'

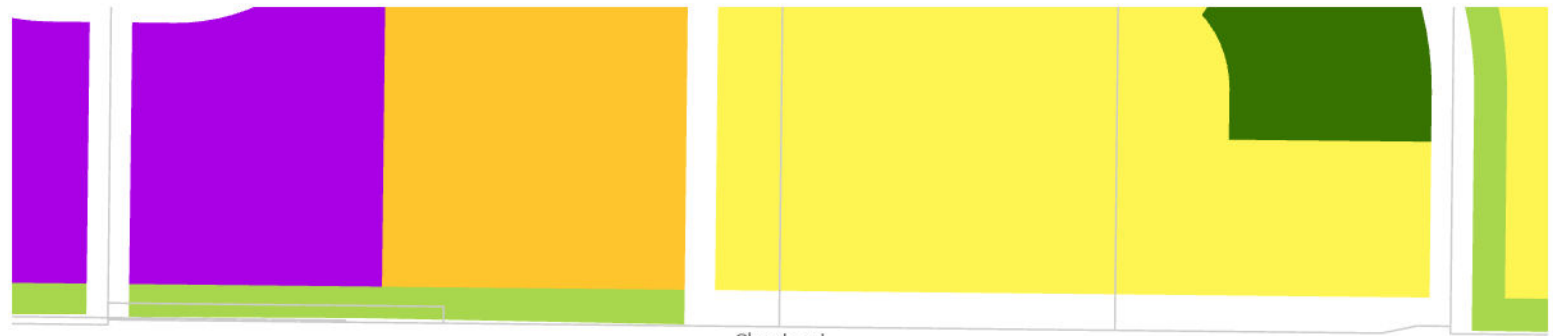


# Land Use Exhibits

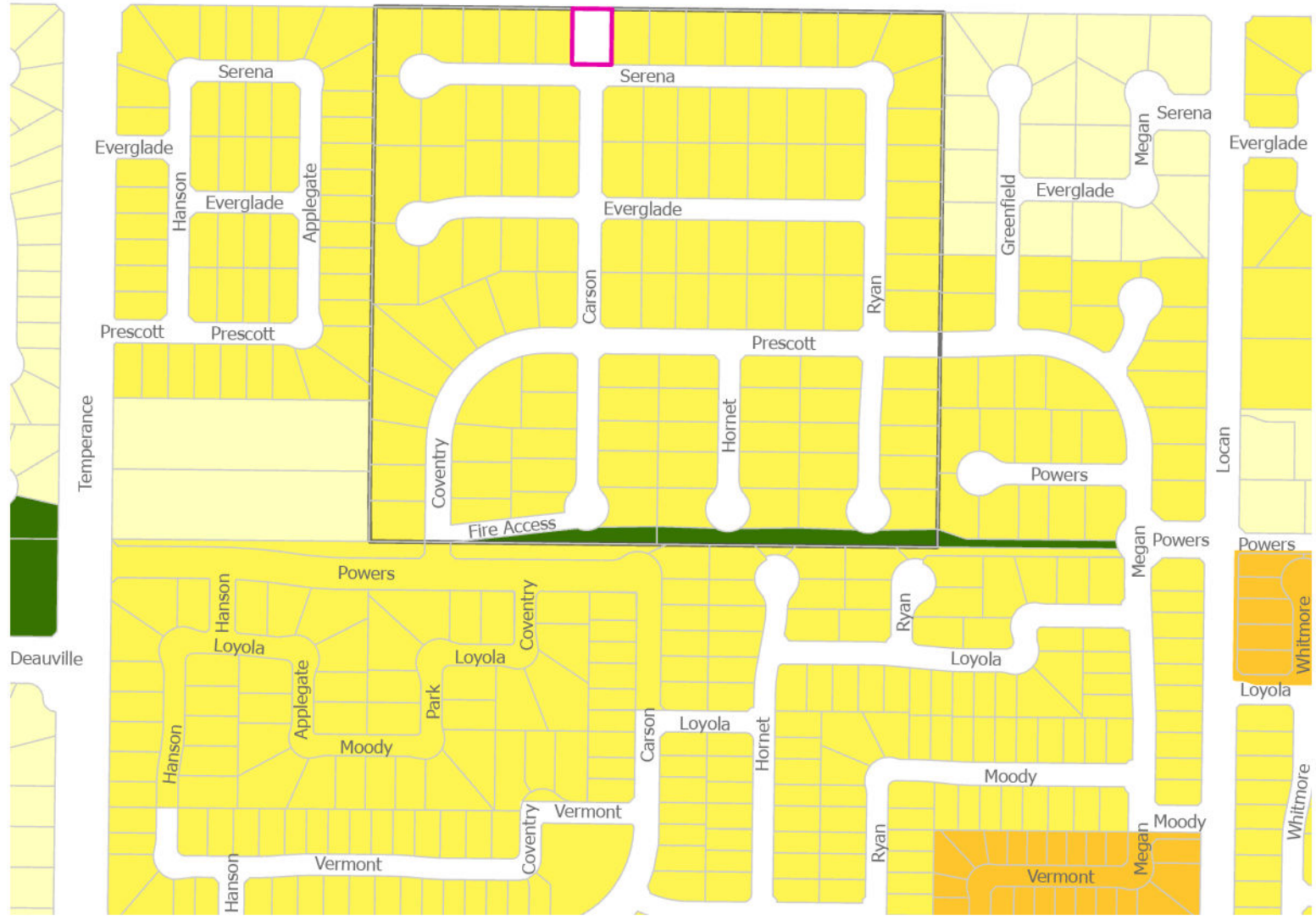
- VL - Very Low Density Residential
- L - Low Density Residential
- M - Medium Density Residential
- MU-V - Mixed Use Village
- OS - Open Space
- PK - Park
- Tract 5122
- Project Limits



8/25/2022



Shepherd



Temperance

Deauville

**REAL PROPERTY PURCHASE AND SALE AGREEMENT AND  
JOINT ESCROW INSTRUCTIONS**

This Real Property Purchase and Sale Agreement and Joint Escrow Instructions (“Agreement”) is entered into as of \_\_\_\_\_, 2022 (“Effective Date”) by and between the City of Clovis, a California municipal corporation (“Buyer”) and European Glen, LP (“Seller”) pursuant to the following recitals:

**RECITALS:**

A. Seller owns certain real property located at 2791 Serena Avenue in the City of Clovis, County of Fresno, State of California.

B. The real property is Lot 30 of Tract Map No. 5122, which was required by the Map conditions of approval to be a temporary secondary access for emergency vehicles into the subdivision until such time as permanent access to Temperance Avenue or Locan Avenue was available for emergency vehicles, and thereafter Seller would be able to develop Lot 30 as a single-family home.

C. Seller made the necessary street improvements for the temporary access and submitted a bond to Buyer in the amount of \$20,000 as security for the estimated costs of removing the temporary street improvements when the temporary access is no longer needed.

D. Permanent access into the subdivision is now available to and from Temperance Avenue, but Buyer desires for the heretofore temporary access to remain a permanent access for public safety purposes and improved emergency vehicle response to the subdivision and surrounding area.

E. Buyer now desires to purchase the real property from Seller to be used and maintained for public street purposes and other authorized public uses; and

F. Seller is willing to sell the real property, more particularly identified below, to Buyer under the terms and conditions of this Agreement; and

G. Buyer and Seller have agreed to Buyer’s purchase of the real property, more particularly identified below, by means of this Agreement and the recordation of a grant deed conveying said property to Buyer.

NOW THEREFORE, in consideration of the mutual covenants herein contained, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Seller and Buyer agree as follows:

**AGREEMENT:**

1. The Property. Seller agrees to sell and convey to Buyer, and Buyer agrees to purchase and acquire from Seller, subject to the terms and conditions set forth herein, that certain real property located at 2791 Serena Avenue, in the City of Clovis, County of Fresno, California, Fresno County Assessor’s Parcel No. 559-250-02 as more particularly described and depicted in Exhibit “A” and Exhibit “B” attached hereto and incorporated herein, along with all improvements thereon, all easements, licenses, and interests appurtenant thereto, and all entitlements, owned or held by Seller in connection therewith (collectively, the “Property”).

2. Purchase Price. The total purchase price to be paid by Buyer to Seller for the Property shall be Two Hundred Five Thousand Three Hundred Sixteen and 83/100 Dollars (\$205,316.83) (“Purchase Price”). This sum includes compensation for the fair market value of the Property including improvements thereon paid for by Seller. As provided herein, Buyer shall pay the Purchase Price by depositing funds into the escrow in time to meet the Title Company’s requirements for immediately available funds at close of escrow.

3. Seller’s representations and warranties. Seller represents and warrants that: (i) Seller has the full right and authority to enter into this Agreement and consummate the transaction contemplated herein, to deliver to Buyer fee simple title to the Property (subject to any title exceptions permitted under Section 6 below), and each of the persons signing this Agreement on behalf of Seller is authorized to do so; (ii) Seller has no knowledge of any pending litigation involving the Property; (iii) Seller has no knowledge of any violations of, or notices concerning defects or noncompliance with, any code, statute, regulation, ordinance, or judicial order concerning the Property; and (iv) Seller has no knowledge of any material defects in the Property, including, but not limited to, the presence of any hazardous materials in the soil and/or water on, under, or around the Property. Further, Seller has conducted no tests, studies or surveys which would disclose to Seller the presence of hazardous materials and, therefore, the fact that Seller has no actual knowledge concerning such hazardous materials is not a representation that such do not exist in the soil and/or water on, under or around the Property. These warranties shall survive the close of escrow and the recording of the grant deed.

4. Buyer’s representations and warranties. Buyer represents and warrants that: (i) it has the authority to enter into this Agreement, and upon execution of this Agreement, and subject to the conditions precedent set forth herein, Buyer will have full authority to carry out the provisions of this Agreement; and (ii) Buyer is purchasing the Property "AS IS", and Buyer is not relying on any representations or warranties of any kind or nature, express or implied, by or on behalf of Seller concerning the Property, except as expressly set forth in this Agreement. These warranties shall survive the close of escrow and the recording of the grant deed.

4.1 Release of Bond. Upon the close of escrow as provided herein, Buyer shall release the bond submitted by Seller in the amount of \$20,000 as security for the estimated costs of removing the street improvements made on the Property.

5. Escrow. Following execution of this Agreement, the parties shall open an escrow with Old Republic Title Company, 401 Clovis Avenue, Suite #206, Clovis, CA 93612 (“Title Company”) and deposit this Agreement with the Title Company. This Agreement, when signed by both parties and deposited with the Title Company, will be the joint escrow instructions. Buyer and Seller must sign any other form instructions required by Title Company that are not inconsistent with the terms of this Agreement.

5.1 Deposits into escrow. Buyer and Seller shall deposit all documents, money, and other items with the Title Company that are: (i) identified in this Agreement, or (ii) required by the Title Company in order to close escrow as provided herein.

5.2 Title. Seller must convey title to the Property to Buyer free and clear of all title defects, liens, encumbrances, conditions, covenants, restrictions, and other adverse interests of record or known to Seller, subject only to any title exceptions listed in the preliminary title report issued by Title Company which are approved and accepted by Buyer before close of escrow.

- 5.3 Title and closing costs. Seller must pay any costs of clearing and conveying title in the condition described in Section 5.2 above, including but not limited to any amount necessary to satisfy and discharge any obligations associated with the partial or full reconveyance of any deed(s) of trust, and any delinquent and/or unpaid taxes, assessments, or liens. Buyer shall pay the costs of any owner's title policy in an amount specified by Buyer, insuring Buyer's title in the condition described in Section 5.2, all escrow fees, and costs, including costs to record the grant deed, if any. Buyer and Seller shall pay any other costs according to the custom in Fresno County.
- 5.4 Close of escrow. Close of escrow shall occur: (i) within five (5) business days after all conditions set forth in this Agreement have been satisfied or waived, (ii) the Title Company is prepared to issue the title policy described herein, (iii) and the Title Company is otherwise able to record the grant deed conveying title to the Property from Seller to Buyer. The escrow will be considered closed on the date the grant deed is recorded in the Official Records of Fresno County, California ("close of escrow"). The parties anticipate close of escrow occurring within sixty (45) days after the Effective Date. If escrow has not closed by October 31, 2022, either party may terminate this Agreement and the escrow upon written notice to the other party and Title Company. Upon termination, the Title Company shall return any documents and money deposited into escrow to the respective depositor.
- 5.5 Prorations. Real property taxes prorated to the close of escrow shall be paid by Seller at the close of escrow. Buyer, as a public agency, is not obligated to pay property taxes. Assessments or other charges with respect to the Property shall be prorated between Seller and Buyer based on a thirty (30) day month.
- 5.6 Obligations of Buyer. Subject to the conditions precedent and in addition to performance by Buyer of all obligations of Buyer contained in this Agreement, on or before at least one (1) business day prior to close of escrow, Buyer shall deposit the following with the Title Company: (i) the sum Buyer is responsible for as described in Section 5.3 above; (ii) a Certificate of Acceptance meeting the requirements of California Government Code section 27281; and (iii) documents reasonably required of Buyer by Title Company to carry out close of escrow.
- 5.7 Obligations of Seller. In addition to fulfilling any other Seller obligations contained in this Agreement, on or before at least one (1) business day prior to close of escrow, Seller shall deposit the following with the Title Company: (i) a grant deed transferring fee simple title to the Property duly executed by Seller in recordable form; (ii) all sums described in section 5.3 above or written authorization to Title Company to deduct said sums in accordance with Section 5.8 below, including, but not limited to, sums necessary to cancel or pay taxes, special taxes, fees, charges, assessments, and other sums necessary to deliver free and clear title in accordance with Section 5.2 above, if any; and (iii) documents reasonably required of Seller by Title Company to carry out close of escrow.
- 5.8 Disbursements. At close of escrow, Title Company shall: (i) disburse the Purchase Price to Seller, less Seller's costs to clear title, prorations, and other applicable costs, if any; (ii) provide Buyer with the owner's title policy in an amount specified by Buyer, insuring Buyer's title in the condition described in Section 5.2, to Buyer; and (iii) provide closing statements to Buyer and Seller respectively.

5.9 Risk of loss. Risk of loss or damage to the Property, or any improvements thereon, shall pass from Seller to Buyer upon close of escrow.

6. Conditions precedent. Close of escrow and Buyer's obligation to purchase the Property are subject to the satisfaction of the conditions precedent stated herein, including Buyer's and Seller's performance of all their respective obligations under this Agreement, and that all the representations and warranties of the parties remain true as of the close of escrow. The conditions are solely for Buyer's benefit unless otherwise indicated. Each condition must be satisfied, or Buyer must waive it in writing prior to close of escrow. If any condition is not satisfied within sixty (60) days after the Effective Date, Buyer may waive the condition and close escrow, or the parties may mutually agree in writing to extend the escrow to provide additional time to satisfy the condition(s), or Buyer may terminate this Agreement by giving the Seller and Title Company five (5) days' prior written notice. After expiration of said five (5) days, this Agreement and the escrow shall terminate. Upon termination, the Title Company shall return any documents and money deposited into escrow to the respective depositor, after deducting any escrow cancellation fee, and Buyer will have no further obligation to Seller.

7. Buyer's right to enter Property. Upon execution of this Agreement, Seller hereby grants to Buyer, its agents, employees, permittees, contractors, or assigns, an immediate right to, at commercially reasonable times, enter upon, over, across, and under the Property, for purposes of conducting investigations, tests, and inspections on the Property. Such right of entry shall be irrevocable unless and until this Agreement is terminated. The parties agree and confirm that notwithstanding other provisions of the Agreement, the right of possession and use of the Property by Buyer shall commence on the Effective Date noted in the opening paragraph of this Agreement. The Purchase Price provided herein includes full payment of compensation to Seller for such possession and use of the Property, including damages, if any. Buyer shall use reasonable care in connection with any such entry upon the Property. Buyer shall hold Seller harmless from any and all claims, damages, costs, losses and expenses arising out of or resulting from such entry and/or activities upon the Property; provided, however, this agreement of indemnification does not extend to any damage Seller may suffer by reason of the presence or discovery of hazardous waste on the Property (including any perceived or actual loss of value of the Property), nor does it indemnify Seller from any liability as a consequence of the presence or discovery of hazardous waste on the Property. Except as otherwise provided, the obligations of this Section shall survive close of escrow or the earlier termination of this Agreement.

8. Miscellaneous Provisions.

8.1 Further Assurances. Each party shall sign and deliver further documents, or take any further actions required to complete the purchase and sale described herein.

8.2 Notices. All notices and other communications required or permitted under this Agreement shall be in writing and duly given on the date of service, if served personally on the person to receive the notice, or delivered by depositing the notice or communication in the U. S. mail, postage prepaid, and addressed to the relevant party at the address set forth below.

**To Seller:**

European Glen, LP  
 Attn: Kevin Castanos  
 7259 N. First Street, Ste. 101  
 Fresno, CA 93720

**To Buyer:**

City of Clovis  
 Planning and Development Services Dept.  
 Attn: City Engineer  
 1033 Fifth Street  
 Clovis, CA 93612

- 8.3 Entire Agreement. This Agreement is the entire agreement between Seller and Buyer regarding the purchase and sale of the Property, and supersedes all prior discussions, negotiations, commitments or understandings, written or oral. Each Exhibit referred to in this Agreement is by that reference incorporated into and made a part of this Agreement.
- 8.4 Amendment or Termination. This Agreement may only be amended or terminated by mutual written consent of the Seller and Buyer, unless otherwise expressly provided herein.
- 8.5 Successors and Assigns. This Agreement is binding upon and shall inure to the benefit of each party, and each party's heirs, successors, assigns, transferees, agents, employees or representatives. The Buyer may assign this agreement and its rights hereunder.
- 8.6 Time of the Essence. Time is of the essence of each term in this Agreement.
- 8.7 Governing Law. This Agreement and the legal relations between the parties shall be governed by and construed according to California law.
- 8.8 Authority. Each person executing this Agreement on behalf of any party does hereby personally represent and warrant that he or she has the authority to execute this Agreement on behalf of and fully bind such party.
- 8.9 Waiver. Any party's waiver of a breach of any provision herein will not be a continuing waiver or a waiver of any subsequent breach of that or any other provision of this Agreement.
- 8.10 Severability. The provisions of this Agreement are severable. The invalidity, or unenforceability of any provision in this Agreement will not affect the other provisions.
- 8.11 Interpretation. This Agreement is the result of the combined efforts of the parties. If any provision of this Agreement is found ambiguous, the ambiguity will not be resolved by construing this Agreement in favor or against any party, but by construing the terms according to their generally accepted meaning.
- 8.12 Execution in Counterparts. This Agreement may be executed in counterparts such that the signatures of the parties may appear on separate signature pages. Facsimile or photocopy signatures shall be deemed original signatures for all purposes.

WHEREFORE, Buyer and Seller, by their signatures below, enter into this Agreement effective on the Effective Date set forth above.

BUYER:

City of Clovis

By: \_\_\_\_\_  
Michael Harrison, City Engineer

SELLER:

EUROPEAN GLEN, LP,  
a California limited partnership

By: European Glen, Inc., a California  
corporation  
Its General Partner

By: \_\_\_\_\_  
Kevin J. Castanos, President

By: \_\_\_\_\_  
Richard G. Wathen, Secretary



**Exhibit A**  
**Legal Description**

**ORDER NO. : 1412009592**

## **EXHIBIT A**

The land referred to is situated in the County of Fresno, City of Clovis, State of California, and is described as follows:

Lot 30 of Tract No. 5122, according to the map thereof recorded in Volume 69, Pages 15 and 16 of Plats, Fresno County Records.

APN: 559-250-02

**Exhibit B**  
**Depiction of Property**



8/23/2022

# Exhibit B

## Tract Map 5122 - Lot 30

### APN: 559-250-02S

Existing Property Line    Tract Map    Lot





# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: September 12, 2022

SUBJECT: Consider Approval – Res. 22-\_\_\_\_, Adoption of the City of Clovis 2021-2022 Consolidated Annual Performance and Evaluation Report (CAPER) for expenditure of Community Development Block Grant Funds.

**Staff:** Claudia Cazares, Management Analyst

**Recommendation:** Approve

ATTACHMENTS: 1. Resolution  
2. 2021-2022 Consolidated Annual Performance and Evaluation Report (CAPER)

### CONFLICT OF INTEREST

None.

### RECOMMENDATION

For the City Council to approve a resolution adopting the City of Clovis 2021-2022 Consolidated Annual Performance and Evaluation Report (CAPER) for expenditure of Community Development Block Grant Funds.

### EXECUTIVE SUMMARY

The U. S. Department of Housing and Urban Development (HUD) requires the City to adopt the attached 2021-2022 CAPER reporting on the expenditure of Community Development Block Grant Funds.

### BACKGROUND

As an entitlement city for the purpose of receiving Community Development Block Grant Funds from HUD, Clovis must adopt a CAPER, which reports on the status of CDBG projects and on the expenditure of funds for the previous program year.

### FISCAL IMPACT

None.

**REASON FOR RECOMMENDATION**

HUD requires the City Council to adopt a CAPER each year reporting on the previous year's activity in completing CDBG projects and expending funds. The recommended action meets HUD's requirements to receive CDBG funds as an entitlement city.

**ACTIONS FOLLOWING APPROVAL**

The 2021-2022 CAPER and Resolution will be submitted to HUD.

Prepared by: Claudia Cazares, Management Analyst

Reviewed by: City Manager *AK*

**RESOLUTION 22-\_\_\_**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS  
ADOPTING THE 2021-2022 CONSOLIDATED ANNUAL PERFORMANCE AND  
EVALUATION REPORT**

**WHEREAS**, THE City Council of the City of Clovis is a U. S. Department of Housing and Urban Development (HUD) entitlement city for the purpose of receiving Community Development Block Grant funds; and

**WHEREAS**, HUD requires the City of Clovis to adopt a Consolidated Annual Performance and Evaluation Report (CAPER) to report on the 2021-2022 project year’s activity in completing CDBG projects and expending funds.

**NOW, THEREFORE, BE IT RESOLVED**, that the City of Clovis approves and adopts the 2021-2022 CAPER.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

DATED: September 12, 2022

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



# **Consolidated Annual Performance and Evaluation Report (CAPER)**

## **2021-2022 Program Year Community Development Block Grant**

### **Clovis City Council**

Jose Flores, Mayor

Lynne Ashbeck, Mayor Pro Tem

Drew Bessinger, Council Member

Vong Mouanoutoua, Council Member

Bob Whalen, Council Member

John Holt, City Manager

Andrew Haussler, Assistant City Manager

*Public Review Draft*

For submission to the U.S. Department of Housing and Urban Development by September 30, 2022



## CR-05 - Goals and Outcomes

### Progress the jurisdiction has made in carrying out its strategic plan and its action plan. 91.520(a)

This could be an overview that includes major initiatives and highlights that were proposed and executed throughout the program year.

The City of Clovis made significant progress in its first year of implementing the goals identified in the 2021-2025 Consolidated Plan, as detailed in the charts below. Program Year 2021 was the first year of the City's 2021-2025 Consolidated Plan period.

Some highlights of the program year include:

- **Home Rehabilitation Grant Program:** Rehabilitation work completed during the program year to preserve Clovis' affordable housing stock for low-income, owner-occupied households. Rehabilitation measures were completed for 16 households.
- **Area-Based Policing:** During the program year, the City employed an additional Community Service Officer tasked with implementing this activity focused solely on low to moderate income census tracts as designated by HUD. The CDBG funding allowed the City to add this new position to provide enhanced services and would not exist if not for the CDBG funding. This position provided 1,734 individual calls for services and initiated 455 code enforcement cases in the LMI census tracts including written warnings and citations, shopping cart removal, graffiti abatement, shopping cart removal, vehicles being towed, site inspections, illegal sign removal, and responding to and resolving Community Resource Management (CRM) complaints. Additionally, during the program year, the City provided Community Service Officer training in LMI areas via a bus tour to familiarize staff with the on-going growth in the City, and visually identify common code enforcement violations. The officer also provided resources to residents for various programs including housing rehabilitation programs, organization of volunteers, educational programming on code enforcement issues, social services, and mental health services. This resulted in low to moderate income census tracts being in better condition and access to services that the City would otherwise not be able to provide, which improved the quality of life and opportunities for low and moderate income residents in the City of Clovis.
- **Capital Improvement Projects:** During the program year the City utilized CDBG funds for the purpose of providing improvements to two Alley Reconstruction projects. The work completed during the year included environmental work, design and engineering for both the alleys SW of the intersection of Pollasky and Mitchell (previously referred to as the Dennis Beverly Alley Phase 1 and Phase 2) and the Gettysburg/Norwich Alley project. Both projects are at 90% design and engineering completion and will be completed in the next program year.
- **Economic Development - MicroEnterprise - Community Kitchen:** CDBG funds are utilized to assist low-income persons to participate with the Clovis Culinary Center to establish professional culinary businesses as entrepreneurs. The Clovis Culinary Center also obtains additional community support to provide a 24/7 fully equipped commercial kitchen space, hands on technical assistance, training and support for the participants. CDBG funds assisted 19 low to moderate income entrepreneurs successfully manage their food based business.

**Comparison of the proposed versus actual outcomes for each outcome measure submitted with the consolidated plan and explain, if applicable, why progress was not made toward meeting goals and objectives. 91.520(g)**

Categories, priority levels, funding sources and amounts, outcomes/objectives, goal outcome indicators, units of measure, targets, actual outcomes/outputs, and percentage completed for each of the grantee’s program year goals.

Goal	Category	Source / Amount	Indicator	Unit of Measure	Expected – Strategic Plan	Actual – Strategic Plan	Percent Complete	Expected – Program Year	Actual – Program Year	Percent Complete
Administration	Administration	CDBG: \$748,745.00	Other	Other	0	0				
Affordable Housing	Affordable Housing	CDBG: \$683,427.25	Homeowner Housing Rehabilitated	Household Housing Unit	125	16	12.80%	20	16	80.00%
Economic Development	Non-Housing Community Development	CDBG: \$250,000.00	Businesses assisted	Businesses Assisted	50	19	38.00%	10	19	190.00%
Infrastructure	Non-Housing Community Development	CDBG: \$1,500,000.00	Public Facility or Infrastructure Activities other than Low/Moderate Income Housing Benefit	Persons Assisted	5300	0	0.00%	1060	0	0.00%
Public Services	Crime Awareness	CDBG: \$561,558.75	Public service activities other than Low/Moderate Income Housing Benefit	Persons Assisted	125000	31030	24.82%	31030	31030	100.00%

**Table 1 - Accomplishments – Program Year & Strategic Plan to Date**

**Assess how the jurisdiction’s use of funds, particularly CDBG, addresses the priorities and specific objectives identified in the plan, giving special attention to the highest priority activities identified.**

All activities implemented during this program year were identified through the city’s Citizen Participation Planning process when creating the Consolidated Plan. All activities completed during this program year were determined to meet a high priority identified in the Consolidated Plan, including: Increase, Improve and Preserve Affordable Housing for Families/Seniors/Veterans, Code Enforcement and Promoting Public Safety, Job Creation and Retention, and Improving Public Facilities.

**CR-10 - Racial and Ethnic composition of families assisted**

**Describe the families assisted (including the racial and ethnic status of families assisted). 91.520(a)**

	<b>CDBG</b>
White	15,561
Black or African American	1,145
Asian	3,070
American Indian or American Native	638
Native Hawaiian or Other Pacific Islander	134
<b>Total</b>	<b>20,548</b>
Hispanic	12,390
Not Hispanic	18,640

**Table 2 – Table of assistance to racial and ethnic populations by source of funds**

**Narrative**

Racial and ethnic status was tracked for all activities, and is reflected on the chart above. Sixteen (16) of the persons assisted were recipients of the home rehabilitation grant program, and their racial and ethnic demographics were taken from each households program application. Nineteen (19) of the persons assisted were participants in the Micro-Enterprise Community Kitchen program, and their racial and ethnic demographics were taken from each households program application. The remaining persons received an area-wide benefit through the Area Based Policing Program, and their racial and ethnic demographics were taken from the LMI census tracts/block groups in which activities were completed.

**CR-15 - Resources and Investments 91.520(a)**

**Identify the resources made available**

Source of Funds	Source	Resources Available	Made	Amount Expended During Program Year
CDBG	public - federal	748,745		435,002

**Table 3 - Resources Made Available**

**Narrative**

Expenditure totals include amounts from both the CDBG PY 2021-2022 and prior years allocations that were carried over for past year carry over projects, namely public infrastructure projects.

**Identify the geographic distribution and location of investments**

Target Area	Planned Percentage of Allocation	Actual Percentage of Allocation	Narrative Description

**Table 4 – Identify the geographic distribution and location of investments**

**Narrative**

The Consolidated Plan does not identify any targeted areas for investment. Instead, Clovis spreads resources throughout the City, which resulted in a 100% LMI benefit.

## Leveraging

**Explain how federal funds leveraged additional resources (private, state and local funds), including a description of how matching requirements were satisfied, as well as how any publicly owned land or property located within the jurisdiction that were used to address the needs identified in the plan.**

There is no matching requirement for the CDBG Program. However, the City of Clovis utilized non-CDBG funds for affordable housing projects. The local Habitat for Humanity finished construction of two single family homes during the planning period, that were subsequently sold to two Veteran families. Previously, the City had donated two parcels of land to Habitat, using redevelopment agency funds, for the construction of the homes. In escrow closing, the City provided a deferred silent second loan of \$75,000 to each homebuyer, from redevelopment agency funds.

The City also has set aside a \$300,000 grant in local funds, to a non-profit housing developer for the construction of a 75-unit supportive housing multi-family project, from redevelopment agency funds. Construction is expected to be completed by the end of summer 2022.

The City also applied for and provided a commitment of funds in the amount of \$1,200,000, from the State of California Permanent Local Housing Allocation program, for a 59-unit multi-family affordable housing project. During the program year, the developer applied for state and federal tax credits to complete financing, but was unsuccessful. The developer will be applying again for state and federal tax credits and hope to obtain financing in 2022. If the developer is successful, they will start construction in 2023.

**CR-20 - Affordable Housing 91.520(b)**

**Evaluation of the jurisdiction's progress in providing affordable housing, including the number and types of families served, the number of extremely low-income, low-income, moderate-income, and middle-income persons served.**

	<b>One-Year Goal</b>	<b>Actual</b>
Number of Homeless households to be provided affordable housing units	0	0
Number of Non-Homeless households to be provided affordable housing units	25	18
Number of Special-Needs households to be provided affordable housing units	0	0
<b>Total</b>	<b>25</b>	<b>18</b>

**Table 5 – Number of Households**

	<b>One-Year Goal</b>	<b>Actual</b>
Number of households supported through Rental Assistance	0	0
Number of households supported through The Production of New Units	0	0
Number of households supported through Rehab of Existing Units	25	18
Number of households supported through Acquisition of Existing Units	0	0
<b>Total</b>	<b>25</b>	<b>18</b>

**Table 6 – Number of Households Supported**

**Discuss the difference between goals and outcomes and problems encountered in meeting these goals.**

The City proposed to utilize CDBG funds to provide 25 grants to low-income homeowners make minor repairs to their homes. A total of 16 households were assisted with the grant program. Additionally, two low-income veteran families were assisted in becoming homeowners during the program year. The difference in the goals and the outcomes arises from a staffing shortage that the housing program experienced during the program year. The program was fully staffed as of March 1, 2022, and expects to meet its goals in the PY2022-2023.

**Discuss how these outcomes will impact future annual action plans.**

The demand for the home repair program remains high. The City has an interest list of 50+ homeowners that have expressed an interest in the rehabilitation program. The City expects to completely fulfill future year's goals, now that the program is adequately staff. Additionally, the City has hired two local non-profit consultants to assist in the implementation of the rehabilitation programs. Self-Help Enterprises (Visalia) and Habitat for Humanity will provide inspection and construction management services which will enable City staff to meet or exceed the rehabilitation goals.

**Include the number of extremely low-income, low-income, and moderate-income persons served by each activity where information on income by family size is required to determine the eligibility of the activity.**

<b>Number of Households Served</b>	<b>CDBG Actual</b>	<b>HOME Actual</b>
Extremely Low-income	8	0
Low-income	8	0
Moderate-income	0	0
<b>Total</b>	<b>16</b>	<b>0</b>

**Table 7 – Number of Households Served**

**Narrative Information**

Households participating in limited clientele activities are income-qualified at the time of assistance, area based incomes are tracked based on the LMI data available. For the housing rehabilitation program, all participants were income qualified with 8 households falling within the Extremely low-income threshold, and another 8 falling within the low-income threshold.

## **CR-25 - Homeless and Other Special Needs 91.220(d, e); 91.320(d, e); 91.520(c)**

**Evaluate the jurisdiction's progress in meeting its specific objectives for reducing and ending homelessness through:**

### **Reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs**

The City of Clovis has no dedicated homeless shelters or services. However, the City is an active supporter and participant in the MAP Point at the Poverello House (a local intake service provider and homeless shelter in Fresno, California) as a part of the Fresno Madera Continuum of Care (FMCoC). Those needing services within Clovis are provided an opportunity to utilize the MAP services. The MAP Point (Multi-Agency Access Program) is an integrated intake process that connects individuals facing homelessness, and connects them with housing and services. MAP connects homeless persons facing challenges with services related to behavioral health, substance abuse, physical health and/or mental health and social services.

### **Addressing the emergency shelter and transitional housing needs of homeless persons**

The City of Clovis does not receive funding for emergency shelter and transitional housing services. However, Clovis is an active member of the Fresno Madera Continuum of Care (FMCoC), which is the organization that acts as the regional planning body to address homelessness in the region. In addition, the City of Clovis Development Code allows emergency shelters and transitional housing by-right, in all areas zoned as residential. A Permanent Supportive Housing project is currently being constructed in Clovis. The apartment complex will be called Butterfly Gardens, and it will provide 75 one-bedroom apartments for very low-income persons experiencing homelessness and persons with disabilities. Construction is anticipated to be complete by late summer 2022. The City has set aside a \$300,000 grant to the project.

Clovis shares tax revenue with Fresno County that helps support programs such as the Marjaree Mason Center, which reports servicing over 300 battered women from the Clovis area per year. In addition, the tax revenue supports the EOC Sanctuary Youth Center that reports sheltering over 200 homeless youths ages 11-17 annually.

**Helping low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families and those who are: likely to become homeless after being discharged from publicly funded institutions and systems of care (such as health care facilities, mental health facilities, foster care and other youth facilities, and corrections programs and institutions); and, receiving assistance from public or private agencies that address housing, health, social services, employment, education, or youth needs**



Clovis does not currently have permanent supportive housing for those described in this section. However, a permanent supportive housing project is currently being constructed in Clovis. The apartment complex will be called Butterfly Gardens, and it will provide 75 one-bedroom apartments for very low-income persons experiencing homelessness and persons with disabilities. Construction is anticipated to be complete in late summer 2022, as described above.

In addition, Clovis residents have access to many facilities within Fresno County, including assisted and independent residential facilities for both the general adult population and the elderly. There are 213 residential elderly care facilities in the County of Fresno, with capacity for over 5,000 persons. There are 161 Adult residential facilities, with capacity for over 900 persons.

**Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were recently homeless from becoming homeless again**

The City of Clovis has no dedicated homeless shelters or services. However, as identified above, the City is an active partner in the MAP services, FMCoC, and has provided grant funding for Butterfly Gardens for permanent supportive housing units in Clovis.

## **CR-30 - Public Housing 91.220(h); 91.320(j)**

### **Actions taken to address the needs of public housing**

The City of Clovis considers the local public housing authority (Fresno Housing) a valuable partner in the provision of affordable housing and supportive services to our residents.

During the previous program year the City implemented an Affordable Housing Development Impact Fee Reduction program and housing staff is an active participant in the review and processing of affordable housing development applications. In a previous year, the City had provided \$1,000,000 in grant funding to Fresno Housing for the construction of a 60-unit apartment complex in Clovis to be occupied by LMI tenants. Construction was completed in June of 2021 and leasing occurred during the program year. Solivita Commons, by Fresno Housing, is considered a welcome addition to the City's affordable housing stock.

During the reporting year, the City has also provided a \$1,200,000 funding reservation in Permanent Local Housing Allocation monies to a local housing developer who is partnering with Fresno Housing to construct a 59-unit affordable multi-family housing project.

Additionally, City staff assists low income residents to access public housing by providing assistance, referrals and information regarding access to Fresno Housing's services.

### **Actions taken to encourage public housing residents to become more involved in management and participate in homeownership**

Clovis competes competitively for State HOME funds for the purpose of operating a first-time homebuyer program for LMI households, and advertises this program throughout the City. Clovis received HOME Program funds, from the State of California, in the amount of \$1,000,000. The City was previously waiting for a per unit subsidy/price purchase limit waiver from the State of California. Instead, in May 2022, the state approved an increase to the limits, as authorized by HUD. To that end, City staff will move forward to implement the program during the 2022-2023 program year, and proposes to assist a minimum of 10 low-income first time homebuyers purchase a home.

Additionally in June of 2021 the City was notified it had received a \$5,000,000 grant from the State of California CALHome program. A portion of these funds will be used for mortgage assistance. Staff completed program set up during the reporting year, and expect to commence providing funding assistance in the 2022-2023 program year.

### **Actions taken to provide assistance to troubled PHAs**

The Fresno County Housing Authority is not considered to be a troubled PHA.

### **CR-35 - Other Actions 91.220(j)-(k); 91.320(i)-(j)**

**Actions taken to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment. 91.220 (j); 91.320 (i)**

In its 2015-23 Housing Element, Clovis identified several governmental constraints to the development, maintenance, and improvement of housing and affordable housing, as follows: Zoning Code Amendments, Lot Consolidation and Lot Splits, and Monitoring of Planning and Development Fees. Clovis is working to resolve these constraints, but the process is not quick. Relative to lot splits, Clovis implemented a cottage home (ADU) program that in addition to allowing the development of these homes on lots already containing single-family homes, the City also provided three sets of building plans that can be used free of charge. The program, and the plans can be utilized City-wide.

In addition, Clovis has partnered with Self-Help Enterprises to provide low-interest loans to income qualified homeowners for construction of the cottage homes. City staff also partnered with Habitat for Humanity in the final completion of two homes that were sold to Veteran families. The City donated both parcels of land to Habitat for Humanity Greater Fresno Area which had been previously acquired using redevelopment agency funds. In addition, the City provided a downpayment assistance loans to the buyers in the amount of \$75,000 from redevelopment agency funds.

During the previous program year the City implemented an Affordable Housing Development Impact Fee Reduction program, and City affordable housing staff is an active participant in the review and processing of the development applications. Through the Impact Fee Reduction program the City provided \$1,000,000 grant to the Fresno County Housing Authority for the construction of a 60-unit apartment complex in Clovis to be occupied by LMI tenants. Construction was completed in June of 2021 and leasing was completed in 2021-2022. The City also has set aside a \$300,000 grant to a non-profit developer for 75 units of supportive housing. Construction on this project began in the spring of 2021 and is expected to be completed in late summer 2022. This is the first supportive housing project in Clovis. Both of these grants were funded with redevelopment agency funds. The City also applied for, and committed funds in the amount of \$1,200,000, from the State of California Permanent Local Housing Allcoation program for a 59 unit affordable mult-family development. The project applied for state funding in 2021-2022 but was unsuccessful. Project developers are again seeking state and federal tax credits for full funding in late 2022, and is expected to start construction 2023.

### **Actions taken to address obstacles to meeting underserved needs. 91.220(k); 91.320(j)**

The City of Clovis works to implement the projects described in the Annual Action Plan. The City also pursued additional Federal, State, and private funding, when available, to assist in meeting the underserved needs of Clovis residents. Clovis competes competitively for State HOME funds for the purpose of operating a first-time homebuyer program for LMI households, and advertises this program

throughout the City. Clovis received HOME Program funds in the amount of \$1,000,000, from the State of California for the first time homebuyer program. A minimum of 10 low-income homebuyers will be assisted with these funds.

Additionally in June of 2021 the City was notified it had received a \$5,000,000 grant from the State of California CalHome program. A portion of these funds will be used for mortgage assistance. Staff expects to implement the program starting in the 2022-2023 program year.

The City also applied for and committed funds \$1,200,000 from the State of California Permanent Local Housing Allcoation program to a 59 unit affordable mulit-family development, as described above.

**Actions taken to reduce lead-based paint hazards. 91.220(k); 91.320(j)**

Clovis continues to work with the Fresno County Department of Public Health's Residential Housing and Lead Program when necessary, and will refer impacted households to their offices to received lead paint assistance.

**Actions taken to reduce the number of poverty-level families. 91.220(k); 91.320(j)**

Poverty-level families are at constant risk of homelessness, being priced out of the housing market, and income insecurity. Unfortunately, Clovis does not receive funding specifically for homeless services or to generally assist poverty level families. However, the City is an active member of the Fresno Madera Continuum of Care, and continues to help Clovis' most vulnerable residents access the services of the region's social service providers. During the program year the City, developed an emergency utilities assistance program, to be implemented in the 2022-2023 year, to provide utility assistance to low income families affected by COVID-19. The City also continued its robust economic development programs which include business attraction, job creation, and coordination with local educational institutions to improve economic conditions in Clovis and the greater region. City staff also provides poverty-level families with referrals and information in regards to the Emergency Rental Assistance program, as administrated by the County of Fresno. As of May 2022, the ERAP program provided assistance to 854 households in Clovis, in the amount of \$7,237,856, to pay rent in arrears.

**Actions taken to develop institutional structure. 91.220(k); 91.320(j)**

Clovis staff is responsible for the administration of the CDBG program. Staff takes full advantage of training opportunities including online, local and regional training and works closely with HUD staff and other counterparts in the region.

**Actions taken to enhance coordination between public and private housing and social service agencies. 91.220(k); 91.320(j)**

Clovis is an active member of the Fresno Madera Continuum of Care (FMCoC), which is the organization that acts as the regional planning body to address homelessness in the region. City staff sits on the Executive Board and assist in reviewing programmatic applications for HUD funding. Clovis also maintains membership, and is an active participant in the San Joaquin Valley Housing Collaborative who brings training, research and housing development to the Central Valley. The City is also in partnership with Habitat for Humanity and Self Help Enterprises to provide affordable housing opportunities through both homeownership and housing rehabilitation to low-income families.

The City actively partners with the local housing authority to provide housing funds for the development of affordable housing developments for low income families, and for permanent supportive housing units.

**Identify actions taken to overcome the effects of any impediments identified in the jurisdictions analysis of impediments to fair housing choice. 91.520(a)**

Clovis continues to refer residents who have a fair housing questions/issue to the Fair Housing Council of Central California and works to implement programs in the City's Analysis of Impediments to Fair Housing Choice. Public transit was identified in the City's Analysis of Impediments to Fair Housing Choice as a potential barrier. In order to make the system more available to low-income riders and elderly residents, the Clovis City Council adopted a zero fare policy in the fall of 2020, which was in effect during the 2021 PY as well. The elimination of transit fares has alleviated public transportation as an impediment, and has made the option a viable one for residents.

**CR-40 - Monitoring 91.220 and 91.230**

**Describe the standards and procedures used to monitor activities carried out in furtherance of the plan and used to ensure long-term compliance with requirements of the programs involved, including minority business outreach and the comprehensive planning requirements**

The City of Clovis is the lead for monitoring compliance for the CDBG program. The City has established procedures based upon HUD guidelines, technical support publications, and HUD monitoring handbooks to ensure the CDBG program is in compliance with applicable rules and regulations. The City's monitoring ranges from determining income-eligibility, project location eligibility, accounting procedures, and on-site inspections for funded activities. The City's engineering department monitors the minority business outreach for all CDBG-funded activities.

**Citizen Participation Plan 91.105(d); 91.115(d)**

**Describe the efforts to provide citizens with reasonable notice and an opportunity to comment on performance reports.**

A notice, in both English and Spanish, was published in the Business Journal on August 19, 2022, which provided information about submitting public comments on the draft of the 2021-2022 CAPER. The CAPER review and comment period was also advertised on the City of Clovis website and through the City's social media channels. A 15-day comment period was given for the public to provide feedback and suggestions to staff in regards to the document. The notice also included the date, time, and location of the public hearing relative to the formal adoption of the 2021-22 CAPER.

**CR-45 - CDBG 91.520(c)**

**Specify the nature of, and reasons for, any changes in the jurisdiction's program objectives and indications of how the jurisdiction would change its programs as a result of its experiences.**

The City did not identify any needed changes in program objectives.

**Does this Jurisdiction have any open Brownfields Economic Development Initiative (BEDI) grants?**

No

**Attachment 1**  
**PR03 - CDBG Activity Summary Reports**  
**2021 Program Year**



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: AGENDA ITEM NO. 17.

**PGM Year:** 2019  
**Project:** 0003 - Gettysburg/Norwich Alley Reconstruction  
**IDIS Activity:** 93 - Gettysburg/Norwich Alley Reconstruction 2019-20  
**Status:** Open  
**Location:** 1033 5th St Clovis, CA 93612-1313

**Objective:** Create suitable living environments  
**Outcome:** Availability/accessibility  
**Matrix Code:** Street Improvements (03K) **National Objective:** LMA

**Activity to prevent, prepare for, and respond to Coronavirus:** No

**Initial Funding Date:** 01/08/2020

**Description:**

This activity will provide for the complete reconstruction of the alley between Gettysburg and Norwich Avenues in Clovis.

**Financing**

	Fund Type	Grant Year	Grant	Funded Amount	Drawn In Program Year	Drawn Thru Program Year
CDBG	EN	2018	B18MC060062	\$62,845.00	\$217.98	\$217.98
		2019	B19MC060062	\$87,155.00	\$0.00	\$29,831.10
		2020	B20MC060062	\$40,000.00	\$0.00	\$0.00
<b>Total</b>	<b>Total</b>			<b>\$190,000.00</b>	<b>\$217.98</b>	<b>\$30,049.08</b>

**Proposed Accomplishments**

People (General) : 19,000  
 Total Population in Service Area: 1,500  
 Census Tract Percent Low / Mod: 65.00

**Annual Accomplishments**

No data returned for this view. This might be because the applied filter excludes all data.





U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: 1  
 Title: AGENDA ITEM NO. 17.

<b>PGM Year:</b>	2020	<b>Objective:</b>	Create suitable living environments
<b>Project:</b>	0001 - Area-Based Policing	<b>Outcome:</b>	Sustainability
<b>IDIS Activity:</b>	98 - Area-Based Policing	<b>Matrix Code:</b>	Crime Awareness (05I)
<b>Status:</b>	Completed 7/23/2021 5:03:02 PM	<b>National Objective:</b>	LMA
<b>Location:</b>	1033 5th St Clovis, CA 93612-1313		

**Activity to prevent, prepare for, and respond to Coronavirus:** No

**Initial Funding Date:** 04/20/2021

**Description:**  
 This activity will provide area-based policing services in all of Clovis' LMI census tract block groups.

**Financing**

	Fund Type	Grant Year	Grant	Funded Amount	Drawn In Program Year	Drawn Thru Program Year
CDBG	EN	2020	B20MC060062	\$97,863.00	\$0.00	\$97,863.00
	PI			\$14,640.00	\$0.00	\$14,640.00
<b>Total</b>	<b>Total</b>			<b>\$112,503.00</b>	<b>\$0.00</b>	<b>\$112,503.00</b>

**Proposed Accomplishments**  
 People (General) : 25,000  
 Total Population in Service Area: 24,930  
 Census Tract Percent Low / Mod: 61.55

**Annual Accomplishments**

Years	Accomplishment Narrative	# Benefitting
2020	Area-Based Policing: During the program year, the City employed an additional Community Service Officer tasked with implementing this activity focused solely on low to moderate income census tracts as designated by HUD. The CDBG funding allowed the City to add this new position to provide enhanced services and would not exist if not for the CDBG funding. This position provided 2,491 individual services in the LMI census tracts including written warnings and citations, shopping cart removal, graffiti abatement, vehicles being towed, site inspections, illegal sign removal, and responding to and resolving Community Resource Management (CRM) complaints. The officer also provide resources to residents for various programs including housing rehabilitation programs, social services, and mental health services. This resulted in low to moderate income census tracts being in better condition and access to services than the City would otherwise be able to provide which improved the quality of life and opportunities for low and moderate income residents in the City of Clovis.	



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: AGENDA ITEM NO. 17.

**PGM Year:** 2020  
**Project:** 0003 - Dennis/Beverly Alley Reconstruction  
**IDIS Activity:** 100 - Dennis-Beverly/Mitchell Beverly-San Jose Alley Reconstruction  
**Status:** Open **Objective:** Create suitable living environments  
**Location:** 1033 5th St Clovis, CA 93612-1313 **Outcome:** Sustainability  
**Matrix Code:** Street Improvements (03K) **National Objective:** LMA

**Activity to prevent, prepare for, and respond to Coronavirus:** No

**Initial Funding Date:** 04/20/2021

**Description:**

This activity will reconstruct the alley between Dennis and Beverly Avenues, Dennis and Mitchell Avenues, and Beverly and San Jose Avenues in Clovis.

**Financing**

	Fund Type	Grant Year	Grant	Funded Amount	Drawn In Program Year	Drawn Thru Program Year
CDBG	EN	2019	B19MC060062	\$62,845.00	\$62,845.00	\$62,845.00
		2020	B20MC060062	\$367,155.00	\$13,506.94	\$13,506.94
		2021	B21MC060062	\$290,000.00	\$0.00	\$0.00
<b>Total</b>	<b>Total</b>			<b>\$720,000.00</b>	<b>\$76,351.94</b>	<b>\$76,351.94</b>

**Proposed Accomplishments**

People (General) : 1,060  
 Total Population in Service Area: 1,810  
 Census Tract Percent Low / Mod: 58.56

**Annual Accomplishments**

No data returned for this view. This might be because the applied filter excludes all data.



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: AGENDA ITEM NO. 17.

<b>PGM Year:</b>	2021		
<b>Project:</b>	0001 - Dennis/Mitchell/Beverly Alley Reconstruction Phase 2		
<b>IDIS Activity:</b>	105 - Dennis Mitchell Beverly Alley Reconstruction Phase 2		
<b>Status:</b>	Canceled 12/3/2021 6:15:34 PM	<b>Objective:</b>	Create suitable living environments
<b>Location:</b>	1033 5th St Clovis, CA 93612-1313	<b>Outcome:</b>	Sustainability
		<b>Matrix Code:</b>	Street Improvements (03K)
		<b>National Objective:</b>	LMA

**Activity to prevent, prepare for, and respond to Coronavirus:** No

**Initial Funding Date:** 12/03/2021

**Description:**  
 This activity will provide home rehabilitation grants to low-income, owner-occupied homes in Clovis. Funds will be paid on the homeowner's behalf to correct health and safety related deficiencies in the home.

**Financing**  
 No data returned for this view. This might be because the applied filter excludes all data.

**Proposed Accomplishments**  
 People (General) : 1,060  
 Total Population in Service Area: 1,810  
 Census Tract Percent Low / Mod: 58.56

**Annual Accomplishments**  
 No data returned for this view. This might be because the applied filter excludes all data.



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: 5  
 Title: AGENDA ITEM NO. 17.

<b>PGM Year:</b>	2021	<b>Objective:</b>	Provide decent affordable housing
<b>Project:</b>	0003 - Housing Rehabilitation	<b>Outcome:</b>	Availability/accessibility
<b>IDIS Activity:</b>	106 - Housing Rehabilitation	<b>Matrix Code:</b>	Rehab; Single-Unit Residential (14A)
<b>Status:</b>	Completed 6/23/2022 12:00:00 AM	<b>National Objective:</b>	LMH
<b>Location:</b>	1500 Villa Ave Spc 85 Clovis, CA 93612-2415		

**Activity to prevent, prepare for, and respond to Coronavirus:** No

**Initial Funding Date:** 12/03/2021

**Description:**

This activity will provide home rehabilitation grants to low-income, owner-occupied homes in Clovis. Funds will be paid on the homeowner's behalf to correct health and safety related deficiencies in the home.

**Financing**

	Fund Type	Grant Year	Grant	Funded Amount	Drawn In Program Year	Drawn Thru Program Year
CDBG	EN	2021	B21MC060062	\$119,746.00	\$119,746.00	\$119,746.00
<b>Total</b>	<b>Total</b>			<b>\$119,746.00</b>	<b>\$119,746.00</b>	<b>\$119,746.00</b>

**Proposed Accomplishments**

Housing Units : 20

**Actual Accomplishments**

*Number assisted:*

	<b>Owner</b>		<b>Renter</b>		<b>Total</b>		<b>Person</b>	
	Total	Hispanic	Total	Hispanic	Total	Hispanic	Total	Hispanic
White:	15	2	0	0	15	2	0	0
Black/African American:	0	0	0	0	0	0	0	0
Asian:	0	0	0	0	0	0	0	0
American Indian/Alaskan Native:	0	0	0	0	0	0	0	0
Native Hawaiian/Other Pacific Islander:	0	0	0	0	0	0	0	0
American Indian/Alaskan Native & White:	0	0	0	0	0	0	0	0
Asian White:	0	0	0	0	0	0	0	0
Black/African American & White:	0	0	0	0	0	0	0	0
American Indian/Alaskan Native & Black/African American:	0	0	0	0	0	0	0	0
Other multi-racial:	1	1	0	0	1	1	0	0
Asian/Pacific Islander:	0	0	0	0	0	0	0	0
Hispanic:	0	0	0	0	0	0	0	0



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: AGENDA ITEM NO. 17.

<b>Total:</b>	<b>16</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>16</b>	<b>3</b>	<b>0</b>	<b>0</b>
Female-headed Households:	12		0		12			
<i>Income Category:</i>								
	<b>Owner</b>	<b>Renter</b>	<b>Total</b>	<b>Person</b>				
Extremely Low	8	0	8	0				
Low Mod	8	0	8	0				
Moderate	0	0	0	0				
Non Low Moderate	0	0	0	0				
Total	16	0	16	0				
Percent Low/Mod	100.0%		100.0%					

**Annual Accomplishments**

<b>Years</b>	<b>Accomplishment Narrative</b>	<b># Benefitting</b>
2021	The City of Clovis partnered with Habitat for Humanity to provide improvements to sixteen (16) owner-occupied homes during the program year. Of these, 15 homes belonged to elderly (65+ years of age) households. None of the households included children. Repairs were made on five stick built homes and 11 homes repaired were mobile homes. Improvements included repairs to roofs, accessibility, air ventilation systems, bathrooms, and flooring, among other repairs.	



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: AGENDA ITEM NO. 17.

**PGM Year:** 2021  
**Project:** 0006 - Administration  
**IDIS Activity:** 107 - Administration  
**Status:** Completed 6/30/2022 12:00:00 AM  
**Location:** ,  
**Objective:**  
**Outcome:**  
**Matrix Code:** General Program Administration (21A)      **National Objective:**

**Activity to prevent, prepare for, and respond to Coronavirus:** No

**Initial Funding Date:** 12/03/2021

**Description:**  
 This activity will financially support the administration of the Community Development Block Grant, including staff time and general overhead necessary to successfully implement the CDBG grant.

**Financing**

	Fund Type	Grant Year	Grant	Funded Amount	Drawn In Program Year	Drawn Thru Program Year
CDBG	EN	2021	B21MC060062	\$81,070.83	\$81,070.83	\$81,070.83
<b>Total</b>	<b>Total</b>			<b>\$81,070.83</b>	<b>\$81,070.83</b>	<b>\$81,070.83</b>

**Proposed Accomplishments**

**Actual Accomplishments**

*Number assisted:*

	<b>Owner</b>		<b>Renter</b>		<b>Total</b>		<b>Person</b>	
	Total	Hispanic	Total	Hispanic	Total	Hispanic	Total	Hispanic
White:					0	0		
Black/African American:					0	0		
Asian:					0	0		
American Indian/Alaskan Native:					0	0		
Native Hawaiian/Other Pacific Islander:					0	0		
American Indian/Alaskan Native & White:					0	0		
Asian White:					0	0		
Black/African American & White:					0	0		
American Indian/Alaskan Native & Black/African American:					0	0		
Other multi-racial:					0	0		
Asian/Pacific Islander:					0	0		
Hispanic:					0	0		
<b>Total:</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: 8  
 AGENDA ITEM NO. 17.

Female-headed Households:

0

*Income Category:*

	<b>Owner</b>	<b>Renter</b>	<b>Total</b>	<b>Person</b>
Extremely Low			0	
Low Mod			0	
Moderate			0	
Non Low Moderate			0	
Total	0	0	0	0
Percent Low/Mod				

**Annual Accomplishments**

No data returned for this view. This might be because the applied filter excludes all data.



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: 7  
 Title: **AGENDA ITEM NO. 17.**

**PGM Year:** 2021  
**Project:** 0004 - Micro-enterprise  
**IDIS Activity:** 108 - Micro-enterprise Program  
**Status:** Completed 6/23/2022 12:00:00 AM  
**Location:** 1033 5th St Clovis, CA 93612-1313  
**Objective:** Create economic opportunities  
**Outcome:** Availability/accessibility  
**Matrix Code:** Micro-Enterprise Assistance (18C) **National Objective:** LMCMC

**Activity to prevent, prepare for, and respond to Coronavirus:** No

**Initial Funding Date:** 12/03/2021

**Description:**  
 This activity will pay the cost for LMI small-business entrepreneurs to utilize the Clovis Culinary Center (a commercial kitchen) for the purpose of expanding their food-based micro-business.

**Financing**

	Fund Type	Grant Year	Grant	Funded Amount	Drawn In Program Year	Drawn Thru Program Year
CDBG	EN	2021	B21MC060062	\$50,000.00	\$50,000.00	\$50,000.00
<b>Total</b>	<b>Total</b>			<b>\$50,000.00</b>	<b>\$50,000.00</b>	<b>\$50,000.00</b>

**Proposed Accomplishments**

Businesses : 10

**Actual Accomplishments**

Number assisted:

	Owner		Renter		Total		Person	
	Total	Hispanic	Total	Hispanic	Total	Hispanic	Total	Hispanic
White:	0	0	0	0	0	0	9	1
Black/African American:	0	0	0	0	0	0	0	0
Asian:	0	0	0	0	0	0	1	0
American Indian/Alaskan Native:	0	0	0	0	0	0	3	0
Native Hawaiian/Other Pacific Islander:	0	0	0	0	0	0	0	0
American Indian/Alaskan Native & White:	0	0	0	0	0	0	0	0
Asian White:	0	0	0	0	0	0	0	0
Black/African American & White:	0	0	0	0	0	0	6	0
American Indian/Alaskan Native & Black/African American:	0	0	0	0	0	0	0	0
Other multi-racial:	0	0	0	0	0	0	0	0
Asian/Pacific Islander:	0	0	0	0	0	0	0	0
Hispanic:	0	0	0	0	0	0	0	0





U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: 10  
 Title: AGENDA ITEM NO. 17.

<b>Total:</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>19</b>	<b>1</b>	
Female-headed Households:	0		0		0				
<i>Income Category:</i>									
	<b>Owner</b>	<b>Renter</b>	<b>Total</b>						<b>Person</b>
Extremely Low	0	0	0						14
Low Mod	0	0	0						4
Moderate	0	0	0						1
Non Low Moderate	0	0	0						0
Total	0	0	0						19
Percent Low/Mod									100.0%

**Annual Accomplishments**

Years	Accomplishment Narrative	# Benefitting
2021	The program provided support services to nineteen (19) micro-businesses and 19 FTE jobs. This activity provided funds for the cost for LMI small-business entrepreneurs to utilize the Clovis Culinary Center (a commercial kitchen) for the purpose of expanding their food-based micro-business.	



U.S. Department of Housing and Urban Development  
 Office of Community Planning and Development  
 Integrated Disbursement and Information System  
 CDBG Activity Summary Report (GPR) for Program Year 2021  
 CLOVIS

Date: 08-Aug-2022

Page: AGENDA ITEM NO. 17.

<b>PGM Year:</b>	2021	<b>Objective:</b>	Create suitable living environments
<b>Project:</b>	0005 - Area-Based Policing	<b>Outcome:</b>	Sustainability
<b>IDIS Activity:</b>	109 - Area-Based Policing	<b>Matrix Code:</b>	Crime Awareness (05I)
<b>Status:</b>	Completed 6/30/2022 12:00:00 AM	<b>National Objective:</b>	LMA
<b>Location:</b>	1033 5th St Clovis, CA 93612-1313		

**Activity to prevent, prepare for, and respond to Coronavirus:** No

**Initial Funding Date:** 12/02/2021

**Description:**  
 This activity will provide area-based policing services in all of Clovis' LMI census tract block groups.

**Financing**

	Fund Type	Grant Year	Grant	Funded Amount	Drawn In Program Year	Drawn Thru Program Year
CDBG	EN	2021	B21MC060062	\$107,615.16	\$107,615.16	\$107,615.16
<b>Total</b>	<b>Total</b>			<b>\$107,615.16</b>	<b>\$107,615.16</b>	<b>\$107,615.16</b>

**Proposed Accomplishments**  
 People (General) : 10,624  
 Total Population in Service Area: 10,610  
 Census Tract Percent Low / Mod: 53.58

**Annual Accomplishments**

Years	Accomplishment Narrative	# Benefitting
2021	During the program year, the City employed an additional Community Service Officer tasked with implementing this activity focused solely on low to moderate income census tracts as designated by HUD. The CDBG funding allowed the City to add this new position to provide enhanced services and would not exist if not for the CDBG funding. This position provided 1,734 individual calls for services and initiated 455 code enforcement cases in the LMI census tracts including written warnings and citations, shopping cart removal, graffiti abatement, shopping cart removal, vehicles being towed, site inspections, illegal sign removal, and responding to and resolving Community Resource Management (CRM) complaints. Additionally, during the program year, the City provided Community Service Officer training in LMI areas via a bus tour to familiarize staff with the on-going growth in the City, and visually identify common code enforcement violations. The officer also provided resources to residents for various programs including housing rehabilitation programs, organization of volunteers, educational programming on code enforcement issues, social services, and mental health services. This resulted in low to moderate income census tracts being in better condition and access to services that the City would otherwise not be able to provide, which improved the quality of life and opportunities for low and moderate income residents in the City of Clovis.	



U.S. Department of Housing and Urban Development  
Office of Community Planning and Development  
Integrated Disbursement and Information System  
CDBG Activity Summary Report (GPR) for Program Year 2021  
CLOVIS

Date: 08-Aug-2022

Title: **AGENDA ITEM NO. 17.**  
Page: 12

---

<b>Total Funded Amount:</b>	<b>\$1,380,934.99</b>
<b>Total Drawn Thru Program Year:</b>	<b>\$577,336.01</b>
<b>Total Drawn In Program Year:</b>	<b>\$435,001.91</b>

**Attachment 2**  
**PR26 - CDBG Financial Summary Report**  
**2021 Program Year**



PART I : SUMMARY OF CDBG RESOURCES

01 UNEXPENDED CDBG FUNDS AT END OF PREVIOUS PROGRAM YEAR	590,168.90
02 ENTITLEMENT GRANT	748,745.00
03 SURPLUS URBAN RENEWAL	0.00
04 SECTION 108 GUARANTEED LOAN FUNDS	0.00
05 CURRENT YEAR PROGRAM INCOME	0.00
05a CURRENT YEAR SECTION 108 PROGRAM INCOME (FOR SI TYPE)	0.00
06 FUNDS RETURNED TO THE LINE-OF-CREDIT	0.00
06a FUNDS RETURNED TO THE LOCAL CDBG ACCOUNT	0.00
07 ADJUSTMENT TO COMPUTE TOTAL AVAILABLE	0.00
08 TOTAL AVAILABLE (SUM, LINES 01-07)	1,338,913.90

PART II : SUMMARY OF CDBG EXPENDITURES

09 DISBURSEMENTS OTHER THAN SECTION 108 REPAYMENTS AND PLANNING/ADMINISTRATION	353,931.08
10 ADJUSTMENT TO COMPUTE TOTAL AMOUNT SUBJECT TO LOW/MOD BENEFIT	0.00
11 AMOUNT SUBJECT TO LOW/MOD BENEFIT (LINE 09 + LINE 10)	353,931.08
12 DISBURSED IN IDIS FOR PLANNING/ADMINISTRATION	81,070.83
13 DISBURSED IN IDIS FOR SECTION 108 REPAYMENTS	0.00
14 ADJUSTMENT TO COMPUTE TOTAL EXPENDITURES	0.00
15 TOTAL EXPENDITURES (SUM, LINES 11-14)	435,001.91
16 UNEXPENDED BALANCE (LINE 08 - LINE 15)	903,911.99

PART III : LOWMOD BENEFIT THIS REPORTING PERIOD

17 EXPENDED FOR LOW/MOD HOUSING IN SPECIAL AREAS	0.00
18 EXPENDED FOR LOW/MOD MULTI-UNIT HOUSING	0.00
19 DISBURSED FOR OTHER LOW/MOD ACTIVITIES	234,185.08
20 ADJUSTMENT TO COMPUTE TOTAL LOW/MOD CREDIT	0.00
21 TOTAL LOW/MOD CREDIT (SUM, LINES 17-20)	234,185.08
22 PERCENT LOW/MOD CREDIT (LINE 21/LINE 11)	66.17%

LOW/MOD BENEFIT FOR MULTI-YEAR CERTIFICATIONS

23 PROGRAM YEARS(PY) COVERED IN CERTIFICATION	PY: 2019 PY: 2020 PY: 2021
24 CUMULATIVE NET EXPENDITURES SUBJECT TO LOW/MOD BENEFIT CALCULATION	0.00
25 CUMULATIVE EXPENDITURES BENEFITING LOW/MOD PERSONS	0.00
26 PERCENT BENEFIT TO LOW/MOD PERSONS (LINE 25/LINE 24)	0.00%

PART IV: PUBLIC SERVICE (PS) CAP CALCULATIONS

27 DISBURSED IN IDIS FOR PUBLIC SERVICES	107,615.16
28 PS UNLIQUIDATED OBLIGATIONS AT END OF CURRENT PROGRAM YEAR	0.00
29 PS UNLIQUIDATED OBLIGATIONS AT END OF PREVIOUS PROGRAM YEAR	0.00
30 ADJUSTMENT TO COMPUTE TOTAL PS OBLIGATIONS	0.00
31 TOTAL PS OBLIGATIONS (LINE 27 + LINE 28 - LINE 29 + LINE 30)	107,615.16
32 ENTITLEMENT GRANT	748,745.00
33 PRIOR YEAR PROGRAM INCOME	14,640.00
34 ADJUSTMENT TO COMPUTE TOTAL SUBJECT TO PS CAP	0.00
35 TOTAL SUBJECT TO PS CAP (SUM, LINES 32-34)	763,385.00
36 PERCENT FUNDS OBLIGATED FOR PS ACTIVITIES (LINE 31/LINE 35)	14.10%

PART V: PLANNING AND ADMINISTRATION (PA) CAP

37 DISBURSED IN IDIS FOR PLANNING/ADMINISTRATION	81,070.83
38 PA UNLIQUIDATED OBLIGATIONS AT END OF CURRENT PROGRAM YEAR	0.00
39 PA UNLIQUIDATED OBLIGATIONS AT END OF PREVIOUS PROGRAM YEAR	0.00
40 ADJUSTMENT TO COMPUTE TOTAL PA OBLIGATIONS	0.00
41 TOTAL PA OBLIGATIONS (LINE 37 + LINE 38 - LINE 39 +LINE 40)	81,070.83
42 ENTITLEMENT GRANT	748,745.00
43 CURRENT YEAR PROGRAM INCOME	0.00
44 ADJUSTMENT TO COMPUTE TOTAL SUBJECT TO PA CAP	0.00
45 TOTAL SUBJECT TO PA CAP (SUM, LINES 42-44)	748,745.00
46 PERCENT FUNDS OBLIGATED FOR PA ACTIVITIES (LINE 41/LINE 45)	10.83%



Office of Community Planning and Development  
 U.S. Department of Housing and Urban Development  
 Integrated Disbursement and Information System  
 PR26 - CDBG Financial Summary Report  
 Program Year 2021  
 CLOVIS , CA

DATE: 08-10-22

**AGENDA ITEM NO. 17.**

LINE 17 DETAIL: ACTIVITIES TO CONSIDER IN DETERMINING THE AMOUNT TO ENTER ON LINE 17  
 Report returned no data.

LINE 18 DETAIL: ACTIVITIES TO CONSIDER IN DETERMINING THE AMOUNT TO ENTER ON LINE 18  
 Report returned no data.

LINE 19 DETAIL: ACTIVITIES INCLUDED IN THE COMPUTATION OF LINE 19

Plan Year	IDIS Project	IDIS Activity	Voucher Number	Activity Name	Matrix Code	National Objective	Drawn Amount
2019	3	93	6663388	Gettysburg/Norwich Alley Reconstruction 2019-20	03K	LMA	\$217.98
2020	3	100	6574262	Dennis-Beverly/Mitchell Beverly-San Jose Alley Reconstruction	03K	LMA	\$41,205.48
2020	3	100	6599931	Dennis-Beverly/Mitchell Beverly-San Jose Alley Reconstruction	03K	LMA	\$14,345.97
2020	3	100	6628425	Dennis-Beverly/Mitchell Beverly-San Jose Alley Reconstruction	03K	LMA	\$3,508.70
2020	3	100	6647540	Dennis-Beverly/Mitchell Beverly-San Jose Alley Reconstruction	03K	LMA	\$7,494.30
2020	3	100	6663388	Dennis-Beverly/Mitchell Beverly-San Jose Alley Reconstruction	03K	LMA	\$9,797.49
					03K	Matrix Code	\$76,569.92
2021	5	109	6574262	Area-Based Policing	05I	LMA	\$52,519.24
2021	5	109	6599931	Area-Based Policing	05I	LMA	\$19,470.16
2021	5	109	6628425	Area-Based Policing	05I	LMA	\$18,941.41
2021	5	109	6647540	Area-Based Policing	05I	LMA	\$7,147.46
2021	5	109	6663388	Area-Based Policing	05I	LMA	\$9,536.89
					05I	Matrix Code	\$107,615.16
2021	4	108	6574262	Micro-enterprise Program	18C	LMCMC	\$32,421.72
2021	4	108	6599931	Micro-enterprise Program	18C	LMCMC	\$16,634.72
2021	4	108	6628425	Micro-enterprise Program	18C	LMCMC	\$943.56
					18C	Matrix Code	\$50,000.00
<b>Total</b>							<b>\$234,185.08</b>

LINE 27 DETAIL: ACTIVITIES INCLUDED IN THE COMPUTATION OF LINE 27

Plan Year	IDIS Project	IDIS Activity	Voucher Number	Activity to prevent, prepare for, and respond to Coronavirus	Activity Name	Grant Number	Fund Type	Matrix Code	National Objective	Drawn Amount
2021	5	109	6574262	No	Area-Based Policing	B21MC060062	EN	05I	LMA	\$52,519.24
2021	5	109	6599931	No	Area-Based Policing	B21MC060062	EN	05I	LMA	\$19,470.16
2021	5	109	6628425	No	Area-Based Policing	B21MC060062	EN	05I	LMA	\$18,941.41
2021	5	109	6647540	No	Area-Based Policing	B21MC060062	EN	05I	LMA	\$7,147.46
2021	5	109	6663388	No	Area-Based Policing	B21MC060062	EN	05I	LMA	\$9,536.89
								05I	Matrix Code	\$107,615.16
				No	Activity to prevent, prepare for, and respond to Coronavirus					\$107,615.16
<b>Total</b>										<b>\$107,615.16</b>

LINE 37 DETAIL: ACTIVITIES INCLUDED IN THE COMPUTATION OF LINE 37

Plan Year	IDIS Project	IDIS Activity	Voucher Number	Activity Name	Matrix Code	National Objective	Drawn Amount
2021	6	107	6574262	Administration	21A		\$11,534.63
2021	6	107	6599931	Administration	21A		\$5,296.48
2021	6	107	6628425	Administration	21A		\$16,532.34
2021	6	107	6647540	Administration	21A		\$31,515.18
2021	6	107	6663388	Administration	21A		\$16,192.20
					21A	Matrix Code	\$81,070.83
<b>Total</b>							<b>\$81,070.83</b>

# **Attachment 3**

## **Public Notices**

to be inserted

# **Attachment 4**

## **Clovis City Council Resolution**

to be inserted





# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: September 12, 2022

SUBJECT: Consider Various Options Regarding the Creation of a Historic Preservation Board:

- a. Establish a temporary committee that would assess historic resources in the City of Clovis and provide recommendations to City Council on the protection of those identified resources;
- b. Consider Introduction – Ord. 22-\_\_\_\_, An Ordinance of the City Council of the City of Clovis adding Chapter 9.81 of Title 9 of the Clovis Municipal Code creating a Historic Preservation Board;
- c. Take no action at this time.

**Staff:** Andrew Haussler, Assistant City Manager / Renee Mathis, Director of Planning and Development Services

**Recommendation:** Consider options and provide staff policy direction

ATTACHMENTS:

1. Background on 325 Pollasky – Clovis Chamber of Commerce
2. May 2, 2022, Staff Report - Update on 325 Pollasky Avenue (Clovis Chamber of Commerce Building)
3. May 16, 2022, Letter from the Clovis-Big Dry Creek Historical Society to form a historical preservation commission
4. June 6, 2022, Staff Report - Consider – A request from Clovis-Big Dry Creek Historical Society for the City Council to Create a Historical Preservation Commission
5. Draft Ordinance

### CONFLICT OF INTEREST

None.

### RECOMMENDATION

For the City Council to consider various options regarding the creation of a Historic Preservation Board (Board) and provide staff direction going forward.

## EXECUTIVE SUMMARY

On May 2, 2022, the City Council received an update on 325 Pollasky Avenue, Clovis Chamber of Commerce building (Attachment 2). On June 6, 2022, City Council considered a request from Clovis-Big Dry Creek Historical Society for the City Council to create a Historical Preservation Commission (Attachment 4). From the June 6, 2022, meeting, Council directed staff to establish an advisory board as described in the Clovis Municipal Code 9.120.020.

Over the past two months, staff has worked with the City Attorney's office in developing a draft ordinance creating a Historic Preservation Board. This is proposed to be an advisory board to the Planning Commission and City Council tasked with developing an initial list of historic landmarks and historic sites within the Historic District for consideration. The Board would also be responsible for maintaining that list of historic landmarks and historic sites. The draft ordinance establishes the process by which an initial list of historic landmarks and historic sites could be established and how one might be added at a future date.

The following are challenges that have been identified during the development of the draft ordinance:

1. There is no funding for the creation and support of Board.
2. In communicating with the City of Visalia who established a Historic Preservation Advisory Committee in 1979, there is a significant amount of work in establishing the criteria and initial list which could initially consume full-time support of one staff member. Once established, ongoing support is significantly reduced.
3. Staff would likely need to outsource support to the Board such as an architect, engineer, or historian (assuming the initial Board was not made up of this expertise).
4. There is currently no in-house expertise on historic preservation.
5. Defining a historic landmark and maintenance of it is subjective – staff would be charged with defining what is significant, minor, and maintenance work.

After developing the draft ordinance, staff is recommending the City Council consider the following options:

- A. Establish a temporary committee that would assess historic resources in the City of Clovis and provide recommendations to City Council on the protection of those identified resources;
- B. Consider Introduction – Ord. 22-\_\_\_\_, an Ordinance of the City Council of the City of Clovis adding Chapter 9.81 of Title 9 of the Clovis Municipal Code creating a Historic Preservation Board;
- C. Take no action at this time.

## BACKGROUND

On May 2, 2022, the City Council received an update on 325 Pollasky Avenue, Clovis Chamber of Commerce building (Attachment 2). On May 16, 2022, the Clovis-Big Dry Creek Historical Society submitted a letter to the City Manager requesting that the City form a Historical Preservation Commission (Attachment 3). Attachment 1 provides some of the history on the building located at 325 Pollasky Avenue. From the May 2, 2022, meeting, it was the consensus of the Council to pursue the formation of a historical preservation committee to assist the effort in updating and preserving the building.

On June 6, 2022, the City Council considered the request from Clovis-Big Dry Creek Historical Society for the Council to create a Historical Preservation Commission (Attachment 4). From the June 6, 2022, meeting Council directed staff to establish the Advisory Board as described in the Clovis Municipal Code 9.120.020 - *Historic Preservation Board. A City review board designated to promote the cultural, economic, educational, and general welfare of the City through the preservation and protection of buildings, sites, structures, areas, and districts of historic significance and interest.*

Over the past two months, staff has worked with the City Attorney's office to develop a draft ordinance to create a Historic Preservation Board, provided as Attachment 5. Through that process, staff has developed an alternative option to consider: to establish a temporary committee that would assess historic resources in the City of Clovis and provide recommendations to the City Council on the protection of those identified resources. A third option available is to continue the City's current policies on historical preservation with Council taking no action at this time.

The following is a review of the three proposed options:

**Option A** - Establish a temporary committee that would assess historic resources in the City of Clovis and provide recommendations to City Council on the protection of those identified resources.

After developing the draft ordinance and realizing that staff has very little expertise regarding historic sites nor the criteria to judge, staff wanted to present the option to City Council to consider forming a committee that would be charged with assessing historic resources in the City of Clovis and providing recommendations on tools the Council could implement to protect the identified resources, such as an ordinance. The committee could stand up for a specified period and provide recommendations to the City Council at its conclusion.

**Option B** - Consider Introduction – Ord. 22-\_\_\_\_, an Ordinance of the City Council of the City of Clovis adding Chapter 9.81 of Title 9 of the Clovis Municipal Code creating a Historic Preservation Board:

In crafting the ordinance and knowing that it will likely need to be amended, staff is recommending the City Council consider narrowing the scope of the ordinance initially to allow somewhat of a learning curve upon initial implementation. It should also be noted that the City is now on the front end of updating the 2014 General Plan, which could be an opportunity to refine the ordinance in the future.

### Highlights of the draft ordinance:

A summary of the ordinance and the proposed draft ordinance is in Attachment 5.

#### Purpose:

The proposed Historic Preservation Ordinance establishes a Historic Preservation Board (Board). The Board would be created to act as the City's steward for historic preservation causes and protector of historic structures. The Board would be an advisory body to the Planning Commission and City Council. The Board would consist of five members appointed by the Mayor and confirmed by the City Council and meet monthly.

#### Scope:

Staff is recommending Council consider limiting the initial historic district to the original one square mile of the City of Clovis, bounded by Barstow Avenue to the south, Sunnyside Avenue to the east, Sierra Avenue to the north, and Minnewawa Avenue to the west (this area represents the original one square mile that was incorporated in 1912). Staff is further recommending Council consider initially limiting consideration of historic sites to non-residential properties.

#### Initial Role:

The Board would be primarily responsible for developing a list of Historic Landmarks within the Historic District for Planning Commission and City Council to consider for designation.

#### Ongoing Role:

The Board would periodically update the Historic Landmarks within the Historic District and reviewing building/planning actions related to historically designated structures. Review of proposals for the exterior alteration of historically designated sites and structures would likely be the most frequent task undertaken by the Board. The Board reviews would be conducted with a focus on preserving the integrity of historic structures and maintaining the unified architectural character of the Historic District. The Board would also be tasked with recommending criteria to be used during such review.

#### Limitations on Changes to Designated Historic Sites:

Reviews of exterior alterations to buildings would need to occur prior to issuance of a permit. For land use actions, the Board would only review the impact of a proposed land use change on a historic landmark and would provide a recommendation to the Planning Commission. The Board would not have authority to approve or deny land use actions and would not make determinations on what uses are allowed. That power rests solely with the Planning Commission. Any action of the Board would be appealable to the City Council.

#### Expenses:

All reviews by the Board would be conducted at no expense to the applicant. Similarly, any appeals of Board actions would be processed free of charge.

Staff time to support the Board has not been budgeted for and resources would need to be identified.

**Summary:**

In summary, a property owner will be notified of the potential for a property to be listed on the historic register before public hearings held by the Historic Preservation Board and again by the Planning Commission. The final recommendation would be noticed to the property owner before the item is heard by the City Council when the Council could officially add the property to the local historic register. The property owner will be allowed the opportunity to state whether they want their property to be included as an historic landmark. There is a provision in the ordinance that allows the Planning Commission to consider a hardship by a property owner that would result from denial of a permit to carry out proposed work.

If a site is added to the register before altering the exterior of, or demolishing, an historic landmark or historic site, the property owner must first obtain approval either from the Director of Planning and Development Services or, depending on the significance of the change, the Board would provide a recommendation to the Planning Commission. This is appealable to City Council. In addition, for Historic Landmarks, property owners must seek permission to do work that does not require a permit and would not normally require City approval. This will increase the time it takes property owners to complete work on their property, compared to a site that is not on the historic register.

**Option C** – Take no action at this time.

Currently in the City of Clovis, historic preservation is governed by the General Plan in the Open Space and Conservation Element under *Goal 2: Natural, agricultural, and historic resources that are preserved and promoted as key features for civic pride and identity*. This is implemented by the following policies:

- Policy 2.9: National and state historic resources. Preserve historical sites and buildings of state or national significance in accordance with the Secretary of Interior Standards for Historic Rehabilitation.
- Policy 2.10: Local historic resources. Encourage property owners to maintain the historic integrity of the site by (listed in order of preference): preservation, adaptive reuse, or memorialization.
- Policy 2.11: Old Town. Prioritize the preservation of the historic character and resources of Old Town.
- Policy 2.12: Public education. Support public education efforts for residents and visitors about the unique historic, natural, and cultural resources in Clovis.

In addition, the Central Clovis Specific Plan further implemented the above goal and policies with design guidelines and language desiring to preserve the historic nature of the Old Town area.

**FISCAL IMPACT**

Implementation of the ordinance will need to be supported by staff time as well as supporting the Board and meetings. The exact cost to support the Board is unknown at this time.

**REASON FOR RECOMMENDATION**

City Council provided direction to draft an ordinance to develop an advisory body to the Planning Commission and City Council to develop an initial list of historic landmarks and historic sites within the Historic District for consideration. The Board would also be responsible for maintaining that list of historic landmarks and historic sites. Staff has provided Council with various options to consider.

**ACTIONS FOLLOWING APPROVAL**

Staff will implement Council direction.

Prepared by: Andrew Haussler, Assistant City Manager  
Renee Mathis, Director of Planning & Development Services.

Reviewed by: City Manager *AH*

### **325 Pollasky Avenue (Clovis Chamber of Commerce) Building Update**

The building owned by the Clovis Chamber of Commerce is located at 325 Pollasky Avenue. It was built in 1914 and originally served as the Clovis Library. The construction was financed through a grant from the Carnegie Foundation, which funded 2,509 such libraries between 1883 and 1929. The building remained in continuous use as a public library until 1976, when the new Clovis Library opened at 1133 Fifth Street. In exchange for the new library site, the County of Fresno deeded ownership of the building and land at 325 Pollasky to the City of Clovis.

Upon taking possession of the property, the City of Clovis was committed to renovating and converting the building into a use which could serve as a public meeting space. However, the costs for renovation ranged from \$150,000 to \$160,000.

In 1979, the City of Clovis replaced the foundation at a cost of \$70,000. By 1983, a group of citizens managed to raise \$13,000 for additional restoration work. Those funds, along with donations of labor and supplies, enabled the group to complete some additional restoration work.

In 1986, the City of Clovis entered into an agreement with the Clovis Chamber of Commerce to transfer ownership of the building and property to the Chamber. The agreement included several conditions (“Reversionary Interest Conditions”), which were to be included in the deed conveying the property to the Chamber:

- Chamber must complete remodeling of the building.
- Chamber may not convey any interest in the property without consent of the City.
- Chamber must remain as a non-profit corporation organized as a chamber of commerce.
- Chamber must maintain the upper floor of the building for public use or short-term rental for public and community groups.
- Chamber must maintain the building in good condition and repair.
- As part of the agreement, the City was also to retain the ability to take back title to the property in the event of a default by the Chamber.

Since 1986, the Chamber has continuously occupied the building. During that time, the Clovis Chamber of Commerce bore all costs for repairs and maintenance for the building and property. Some of these repairs and upgrades include total replacement of roof, total overhaul of landscaping and irrigation, and overhaul of front entry. Between 2012 and 2016, the building experienced issues which included the total failure of HVAC equipment, severe roof leak, and a water main break.

The building is also not ADA compliant, which has prevented the Chamber of Commerce from being able to legally operate inside the building.

In 2016, City of Clovis staff discovered that although the deed conveying the property from the City to the Chamber was executed in 1986, none of the Reversionary Interest Conditions required by the agreement were included in the deed. Also, the 1986 agreement was not recorded. Therefore, the legally enforceable status of the Reversionary Interest Conditions was in doubt.

In 2017, facing significant repairs to the HVAC system and building plumbing, and significant and costly upgrades to bring the building into compliance with ADA standards, the Chamber asked the City to be released from the Reversionary Interest Conditions. On September 10, 2018, the City Council approved Resolution 18-121 and released any interest the City had in the building and property, including releasing

the Chamber from all Reversionary Interest Conditions. The stated purpose in Resolution 18-121 of releasing the Chamber was “so that the Chamber may move forward with future planning for the property and building consistent with the City’s Central Clovis specific plan and applicable zoning.” As a result of Resolution 18-121, the City has no legal or equitable interest in the building or property, and the Chamber is not subject to any conditions restricting the use of the building or development of the property other than the Central Clovis Specific Plan and applicable zoning.

Since 2018, the Chamber of Commerce Board of Directors and staff have explored the following four options for the property:

1. Repair the building
2. Sell the property
3. Scrape and rebuild the building
4. Create a partnership with a developer who will remove the current building and construct a new building. The Chamber would enter into this partnership on the strength of the equity of land with the developer covering the cost of construction. The outcome for the Chamber would be a condominium-type office that would remain the property of the Chamber of Commerce in perpetuity.

To date, the Chamber staff has explored all options, but has not made a final decision.





# CITY of CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council  
 FROM: Administration  
 DATE: May 2, 2022  
 SUBJECT: Receive and File – Update on 325 Pollasky Avenue (Clovis Chamber of Commerce Building).

**Staff:** Andrew Haussler, Assistant City Manager  
**Recommendation:** Receive and File

ATTACHMENTS: 1. Background Documentation

### CONFLICT OF INTEREST

Mayor Jose Flores maintains financial interest in a property within 1,000 feet of subject property and, pursuant to law, must abstain from participation and decision regarding this item.

### RECOMMENDATION

That the City Council receive and file the update on 325 Pollasky Avenue (Clovis Chamber of Commerce Building).

### EXECUTIVE SUMMARY

Since 1986, the building located at 325 Pollasky has been occupied and maintained by the Clovis Chamber of Commerce through an agreement for conveyance of use. In 2018, City Council approved a resolution releasing all interest in the subject property. Since that time, the Clovis Chamber of Commerce has continued exploring future use of the property.

### BACKGROUND

The building owned by the Clovis Chamber of Commerce is located at 325 Pollasky Avenue. It was built in 1914 and originally served as the Clovis Library. The construction was financed through a grant from the Carnegie Foundation, which funded 2,509 such libraries between 1883 and 1929. The building remained in continuous use as a public library until 1976, when the new Clovis Library opened at 1133 Fifth Street. In exchange for the new library site, the County of Fresno deeded ownership of the building and land at 325 Pollasky to the City of Clovis.

Upon taking possession of the property, the City of Clovis was committed to renovating and converting the building into a use which could serve as a public meeting space. However, the costs for renovation ranged from \$150,000 to \$160,000.

In 1979, the City of Clovis replaced the foundation at a cost of \$70,000. By 1983, a group of citizens managed to raise \$13,000 for additional restoration work. Those funds, along with donations of labor and supplies, enabled the group to complete some additional restoration work.

In 1986, the City of Clovis entered into an agreement with the Clovis Chamber of Commerce to transfer ownership of the building and property to the Chamber. The agreement included several conditions (“Reversionary Interest Conditions”), which were to be included in the deed conveying the property to the Chamber:

- Chamber must complete remodeling of the building.
- Chamber may not convey any interest in the property without consent of the City.
- Chamber must remain as a non-profit corporation organized as a chamber of commerce.
- Chamber must maintain the upper floor of the building for public use or short-term rental for public and community groups.
- Chamber must maintain the building in good condition and repair.

As part of the agreement, the City was also to retain the ability to take back title to the property in the event of a default by the Chamber.

Since 1986, the Chamber has continuously occupied the building. During that time, the Clovis Chamber of Commerce bore all costs for repairs and maintenance for the building and property. Some of these repairs and upgrades include total replacement of roof, total overhaul of landscaping and irrigation, and overhaul of front entry. Between 2012 and 2016, the building experienced issues which included the total failure of HVAC equipment, severe roof leak, and a water main break.

The building is also not ADA compliant, which has prevented the Chamber of Commerce from being able to legally operate inside the building.

In 2016, City of Clovis staff discovered that although the deed conveying the property from the City to the Chamber was executed in 1986, none of the Reversionary Interest Conditions required by the agreement were included in the deed. Also, the 1986 agreement was not recorded. Therefore, the legally enforceable status of the Reversionary Interest Conditions was in doubt.

In 2017, facing significant repairs to the HVAC system and building plumbing, and significant and costly upgrades to bring the building into compliance with ADA standards, the Chamber asked the City to be released from the Reversionary Interest Conditions. On September 10, 2018, the City Council approved Resolution 18-121 and released any interest the City had in the building and property, including releasing the Chamber from all Reversionary Interest Conditions. The stated purpose in Resolution 18-121 of releasing the Chamber was “so that the Chamber may move forward with future planning for the property and building consistent with the City’s Central Clovis Specific Plan and applicable zoning.” As a result of Resolution 18-121, the City has no legal or equitable interest in the building or property, and the Chamber is not subject to any conditions restricting the use of the building or development of the property other than the Central Clovis Specific Plan and applicable zoning.

Since 2018, the Chamber of Commerce Board of Directors and staff have explored options for the future of this building and property but have not made a final decision. Likewise, the City of Clovis has not been in receipt of any plans or applications for demolition, improvements, or redevelopment.

The City of Clovis has no legal interest in the subject property.

**FISCAL IMPACT**

The City of Clovis has no financial interest in the subject property.

**REASON FOR RECOMMENDATION**

The attached report serves as information only. Beyond the review of information by Council, no action is requested.

**ACTIONS FOLLOWING APPROVAL**

Staff will file information.

Prepared by: Shawn Miller, Business Development Manager

Reviewed by: City Manager *SM*

SAVE OUR 1914 CARNEGIE LIBRARY COMMITTEE

c/o Clovis-Big Dry Creek Historical Society


401 Pollasky Avenue  
Clovis, CA 93612-1141

AGENDA ITEM NO. 18.

May 16, 2022

Mr. John Holt  
City Manager  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

Dear Mr. Holt,



Two years ago the Clovis-Big Dry Creek Historical Society formed a committee to advocate for the preservation of the Carnegie Library building in Old Town Clovis, listed among the Fresno County Historical Landmarks and Records Advisory Commission's Inventory of Historic Sites in Fresno County.

We believe that Old Town Clovis should continue to be defined by its authentic historical buildings wherever feasible. The campaign to protect the Carnegie Library building has accentuated the absence of a City of Clovis Historic Preservation Commission to review projects and plans that may affect the City's historic and cultural heritage. Typically such commissions encourage public participation.

We believe that prompt action by the City to establish a Historic Preservation Commission will:

- discourage demolition of our cultural history
- take a vital step toward applying to be a state Certified Local Government to expedite environmental reviews and create opportunities for grant funding
- promote conservation of resources and reduce waste and expense by repairing and reusing existing buildings, greatly reducing their carbon footprint
- encourage identification of significant buildings to educate the public about local history
- contribute expertise in period architecture to maintain the authenticity of Old Town and other historical sites, and
- generate enthusiasm for Clovis' unique character, both as a destination and for the benefit of local citizens.

Many municipalities maintain a Local Register of Historic Resources. Such resources are researched and evaluated as to their significance, and often are marked by plaques or other insignia to illuminate a town's historical development. We believe that Clovis is worthy of such a project.

The Council gave verbal direction to staff at the City Council meeting on May 2, 2020, to initiate the formation of a Historic Preservation Commission. Our citizen group endorses this action with enthusiasm. In addition to the committee—comprised of seven Clovis citizens who are passionate about the preservation of historically significant landmarks—we have consulted an advisory group comprised of John Wright, former City of Clovis Planning Director; Elizabeth Laval, President, Fresno County Historical Society; Karana Hattersley-Drayton, former City of Fresno Historic Preservation Project Manager; and Chris Johnson, AIA, Principal and Project Lead for the 2005 restoration of Fresno's Santa Fe Depot. We offer our services to aid the City in the establishment of a Clovis Historic Preservation Commission.

If you would like to discuss this issue, please contact me by phone at (559) 930-3619, or by email at sayremcfarlanemiller@gmail.com.

Sincere regards,



Sayre Miller  
Committee Co-chair  
Past Chairman, Fresno County Historical Society

Peg Bos, Committee Co-chair  
Past President, Clovis-Big Dry Creek Historical Society

Paul Halajian  
Architect, Old Town Clovis

Tom Wright  
Board Chairman, Clovis Veterans Memorial District

Carol Smittcamp Copeland  
Business Owner, Old Town Clovis

Don Bremseth  
Architect / 1979-85 Carnegie Library  
Restoration Committee Member

Betsy Smittcamp Kimball  
President, Smittcamp Family Foundation

ATTACHMENT 3



# CITY of CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: June 6, 2022

SUBJECT: Consider – A request from Clovis-Big Dry Creek Historical Society for the City Council to Create a Historical Preservation Commission.

**Staff:** Andrew Haussler, Assistant City Manager

**Recommendation:** Consider request and provide direction.

ATTACHMENTS: 1. Letter from Clovis-Big Dry Creek Historical Society

### CONFLICT OF INTEREST

None.

### RECOMMENDATION

For the City Council to provide direction to staff based on the request from the Clovis-Big Dry Creek Historical Society to form a Historical Preservation Commission.

### EXECUTIVE SUMMARY

Staff is in receipt of a request (attached) to the City Manager from the Clovis-Big Dry Creek Historical Society to form a historical preservation commission.

### BACKGROUND

After the discussion regarding the status of the Clovis Carnegie Library Building on May 2, 2022, the Clovis-Big Dry Creek Historical Society submitted a letter on May 16, 2022, to the City Manager requesting that the City form a Historical Preservation Commission. The City currently does not have a Historical Preservation Commission. The letter from the Clovis-Big Dry Creek Historical Society refers to the Council giving verbal direction to staff at the May 2nd Council meeting to initiate the formation of a Historical Preservation Commission. However, no action was taken at that meeting. Staff now seeks Council's direction on the potential formation of such a Commission.

When the Zoning Code was updated in 2014, a definition for "Historical Preservation Board" was included in Chapter 9.120, and defined to be a *City review board designated to promote the cultural, economic, educational, and general welfare of the City through the preservation and*

*protection of buildings, sites, structures, areas, and districts of historic significance and interest.* Although a definition for the Board was included, no other provisions in the Zoning Code address a Historic Preservation Board or require its creation, *and* the City has not taken action to establish such a Board. To establish a Historic Preservation Commission (or Board) the City Council would need to initiate and approve an amendment to the Zoning Code to incorporate such a Board into the development review process for designated buildings and sites.

The role of a Historic Preservation Commission can vary as determined by the City Council. Many similar commissions in other cities review historic resources such as buildings, sites, structures, areas, and districts of historic significance and interest, and determine what should be recommended as designated for protection, subject to City Council approval. A commission may also serve as an additional reviewing/advisory body, reviewing and making recommendations on a designated site application to the Planning Commission. If an owner of one of those designated buildings, sites, structures, areas, and districts of historic significance and interest wants to make improvements and/or changes the Historic Preservation Commission would review and determine if the request is appropriate and then recommend approval or denial of the application to the Director, Planning Commission, and City Council, depending on the entitlement. While this would add a layer of protection to designated historic resources it may also deter investment as it could increase approval timeframes and potentially increase expenses to make improvements.

It is likely amendments and/or additions to the City's General Plan would also be required for the Historic Preservation Commission to determine standards to apply. Currently in the City of Clovis, historic preservation is governed by the General Plan in the Open Space and Conservation Element under *Goal 2: Natural, agricultural, and historic resources that are preserved and promoted as key features for civic pride and identity.* This is implemented by the following policies:

- Policy 2.9: National and state historic resources. Preserve historical sites and buildings of state or national significance in accordance with the Secretary of Interior Standards for Historic Rehabilitation.
- Policy 2.10: Local historic resources. Encourage property owners to maintain the historic integrity of the site by (listed in order of preference): preservation, adaptive reuse, or memorialization.
- Policy 2.11: Old Town. Prioritize the preservation of the historic character and resources of Old Town.
- Policy 2.12: Public education. Support public education efforts for residents and visitors about the unique historic, natural, and cultural resources in Clovis.

In addition, the Central Clovis Specific Plan further implemented the above goal and policies with design guidelines and language desiring to preserve the historic nature of the Old Town area.

Staff is currently seeking direction from Council regarding a request to establish a Historic Preservation Commission. Below are some options for Council to consider:

- 1) Keep status quo as currently determined in the General Plan as provided above.
- 2) Direct staff to review historic preservation in the General Plan Update currently underway to determine any new goals, policies, and implementation steps such as establishing a Historical Preservation Commission.
- 3) Direct staff to bring back the necessary items for Council to consider establishing a Historical Preservation Commission before completing the General Plan Update.

**FISCAL IMPACT**

At this point in the discussion there is no fiscal impact.

**REASON FOR RECOMMENDATION**

Staff is in receipt of a request to the City Manager from the Clovis-Big Dry Creek Historical Society to form a historical preservation commission.

**ACTIONS FOLLOWING APPROVAL**

Staff will implement Council direction.

Prepared by: Andrew Haussler, Assistant City Manager

Reviewed by: City Manager *AH*

## SUMMARY OF DRAFT ORDINANCE

1. The Historic Preservation Board (“Board”) will consist of five (5) members.
2. Each member shall be:
  - a. Appointed by the City Council, following recommendation by the Mayor; and
  - b. A resident of the City; and
  - c. Appointed to a four (4) year term. For the initial appointment, three (3) members will be appointed for a four-year term and the remaining two (2) members will be appointed to a two-year term.
3. The Council and Mayor may consider appointing members from, but not limited to, such professions, disciplines, and interests as: licensed architects and structural engineers; urban planners and landscape architects; attorneys and real estate experts; members of community groups and residents within historic districts, occupants of historic landmarks, and owners of historic sites.
4. The Board will meet at least once per month.
5. The Board will be an advisory body to the Planning Commission and City Council.
6. “Historic District” means the original one square mile of the City of Clovis, bounded by Barstow Avenue to the south, Sunnyside Avenue to the east, Sierra Avenue to the north, and Minnewawa Avenue to the west.
7. “Historic Landmark” means any non-residential improvement in the Historic District.
8. The Board would:
  - a. Develop and recommend an initial list of historic landmarks and historic sites within the Historic District for the Planning Commission and City Council to consider.
  - b. Establish criteria for, conduct and keep current a register of historic resources within the boundaries of the City subject to approval by the City Council.
  - c. Recommend to the Planning Commission and City Council guidelines for the designation of historic landmarks and historic sites.



9. Historic landmarks and historic sites will be established in the following manner:
  - a. The Board may request the designation of an improvement as a historic landmark or the designation of a historic site or historic district, on its own accord, or based on testimony by members of the public.
  - b. The Board will conduct a study of the proposed designation and make a recommendation to the Planning Commission.
  - c. The Planning Commission will conduct a hearing to consider and make a recommendation of City Council.
  - d. The City Council will consider the Planning Commission request and approve by resolution or deny. If approved, it will be added to the register of historic designations.
  - e. Annually, the Historic Preservation Board shall review the register of historic designations and present it to the Council, along with any recommended changes.
10. Before altering the exterior of, or demolishing, a historic landmark or historic site, the property owner must first obtain approval as follows:
  - a. For work that would not normally require a permit (i.e., exterior building paint color), the Director of Planning and Development Services shall approve an application if it complies with the Central Clovis Design Standards.
  - b. If a building permit is required and seeks to make minor alterations or repairs, the Director of Planning and Development Services shall approve if it complies with the Central Clovis Design Standards.
  - c. If an application is to tear down, demolish, construct, alter, remove, or relocate a historic landmark, the Planning Commission will hold a noticed public hearing and approve or disapprove the application. Such decision is appealable to the Council.
  - d. City approval is not required for ordinary maintenance and repairs.

## ORDINANCE 22-\_\_

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CLOVIS ADDING  
CHAPTER 9.81 OF TITLE 9 OF THE CLOVIS MUNICIPAL CODE CREATING A  
HISTORIC PRESERVATION BOARD**

The City Council of the City of Clovis does ordain as follows:

Section 1. Chapter 9.81 of Title 9 of the Clovis Municipal Code is hereby added to read as follows:

**Chapter 9.81**

**HISTORIC PRESERVATION BOARD**

Sections:

- 9.81.01 Purpose and Findings.
- 9.81.02 Definitions.
- 9.81.03 Creation of Historic Preservation Board.
- 9.81.04 Powers and Duties of Historic Preservation Board.
- 9.81.05 Historic Designation Criteria.
- 9.81.06 Historic Designation Procedures.
- 9.81.07 Permit Required.
- 9.81.08 Permit Approval Procedure.
- 9.81.09 Permit Approval Criteria.
- 9.81.10 Appeals.
- 9.81.11 Ordinary Maintenance and Repair.
- 9.81.12 Unsafe or Dangerous Conditions.
- 9.81.13 Duty to Keep in Good Repair.
- 9.81.14 Showing of Hardship.
- 9.81.15 No Retroactive Application.
- 9.81.16 Failure to Act

**9.81.01 Purpose and Findings.**

The purpose of this Chapter is to promote the cultural, economic, educational, and general welfare of the City through the preservation and protection of buildings, sites, structures, areas, and districts of historic significance and interest.

**9.81.02 Definitions.**

- A. "Alteration" means any exterior change or modification, of any historic resource including, but not limited to, exterior changes to or modifications of structure, architectural details, or visual characteristics such as paint color and surface texture, grading, surface paving, new structures, cutting or removal of trees and other natural features, disturbance of archaeological sites or areas, and the

placement or removal of any exterior objects such as signs, plaques, light fixtures, street furniture, walls, fences, steps, paintings and landscape accessories affecting the exterior visual qualities of the property.

- B. "Historic District" means the original one square mile of the City of Clovis, bounded by Barstow Avenue to the south, Sunnyside Avenue to the east, Sierra Avenue to the north, and Minnewawa Avenue to the west.
- C. "Historic Landmark" means any non-residential improvement in the historic district that has special historic, cultural, aesthetic, or architectural character, interest, or value as part of the development, heritage, or history of the City, the State, or the nation, and that has been designated pursuant to this Chapter.
- D. "Historic Resource" means non-residential improvements, buildings, structures, signs, features, sites, places, areas, or other objects of historic aesthetic, educational, cultural, or architectural significance to the citizens of the City, within the historic district, which may or may not have been officially designated as "historic landmarks" or "historic sites" as hereinafter defined.
- E. "Historic Site" means a parcel or part thereof, within the historic district, on which a historic resource is situated and any abutting parcel or part thereof constituting part of the premises on which the historic resource is situated, and which has been designated a historic site pursuant to this Chapter.
- F. "Improvement" means any building, structure, place, parking facility, fence, gate, wall, work of art or other object constituting a physical betterment of real property, or any part of such betterment.
- G. "Preservation" means the identification, study, protection, restoration, rehabilitation, or enhancement of historic resources.

#### **9.81.03 Creation of Historic Preservation Board.**

- A. Establishment. In order to execute the purposes declared in this Chapter, there is created a Historic Preservation Board.
- B. Appointment.
  1. The Historic Preservation Board shall consist of five (5) members.
  2. Each member shall be:
    - a. Appointed by the City Council, following recommendation by the Mayor; and

- b. A resident of the City; and
  - c. Appointed to a four (4) year term. For the initial appointment, three (3) members will be appointed for a four-year term and the remaining two (2) members will be appointed to a two-year term.
3. The Council and Mayor may consider appointing members from, but not limited to, such professions, disciplines, and interests as: licensed architects and structural engineers; urban planners and landscape architects; attorneys and real estate experts; members of community groups and residents within historic districts, occupants of historic landmarks, and owners of historic sites.
- C. Meetings. The Historic Preservation Board shall hold regular meetings at least once per month.

#### **9.81.04 Powers and Duties of Historic Preservation Board.**

The Historic Preservation Board shall have the following powers and duties:

- A. The Historic Preservation Board will be an advisory body to the Planning Commission and City Council.
- B. The Historic Preservation Board will develop and recommend an initial list of historic landmarks and historic sites within the Historic District for the Planning Commission and City Council to consider.
- C. Establish criteria for, conduct and keep current a register of historic resources within the boundaries of the City subject to approval by the City Council.
- D. Recommend to the Planning Commission and City Council guidelines for the designation of historic landmarks and historic sites subject to the provisions of Section 9.81.05 of this Chapter.
- E. Review and comment upon the conduct of land use, housing and redevelopment, municipal improvements and other types of planning and programs undertaken by any other agency of the City, the County or State as they relate to the historic resources of the community as requested by City Council.
- F. Recommend standards to be considered by the City Council to be used by the Director of Planning and Development Services, Historic Preservation Board, and the Planning Commission in reviewing applications for permits to construct, change, alter, modify, remodel, remove or significantly affect any historic resource. Such standards shall include the Standards for Rehabilitation adopted by the United States Secretary of the Interior, as set forth in 36 Code of Federal Regulations part 1208, as said part may from time to time be amended.

- G. Investigate and report to the City Council on the use of various Federal, State, local or private funding sources and mechanisms available to promote historic preservation in the City.
- H. Recommend approval or disapproval, in whole or in part, applications for permits pursuant to this Chapter.
- I. Render advice and guidance, upon the request of the owner or occupant of the property affected, on the restoration, alteration, decoration, landscaping, or maintenance of any historic resource, including a landmark, landmark site, , or property in the vicinity of the foregoing within public view thereof.
- J. Participate in, promote, and conduct public information, educational and interpretive programs pertaining to historic resources.
- K. Review and make recommendations to the City Council regarding applications for and the administration of historic property contracts submitted or entered into pursuant to Government Code sections 50280 through 50290.
- L. Perform such other duties and exercise such other powers as may be specified by the City Council.

#### **9.81.05 Historic Designation Criteria.**

- A. For the purposes of this Chapter, an improvement may be designated an historic landmark or historic site by the City Council pursuant to Section 9.81.06 of this Chapter if it meets the following criteria:
  1. It exemplifies or reflects special elements of the City's cultural, aesthetic, or architectural history; or
  2. It is identified with persons or events significant in local, State, or national history; or
  3. It embodies distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship; or
  4. It is representative of the notable work of a builder, designer, or architect.

#### **9.81.06 Historic Designation Procedures.**

Historic landmarks and historic sites shall be established by the City Council in the following manner:

- A. The Historic Preservation Board may request the designation of an improvement as an historic landmark or the designation of an historic site or historic district, on its own accord, or based on testimony by members of the public.

- B. The Historic Preservation Board shall conduct a study of the proposed designation and, based on such documentation as it may require, make a written recommendation to the Planning Commission as to the appropriateness of the designation.
- C. Upon receipt of the written recommendation of the Historic Preservation Board, the Planning Commission shall schedule a public hearing.
- D. The Director of Planning and Development Services shall give notice of the date, place, time and purpose of the hearing, and the recommendation of the Historic Preservation Board by first class mail to all applicants, owners, and occupants of the improvement at least twenty (20) days prior to the date set for the public hearing, using the name and address of such owners as shown on the latest equalized assessment rolls, if they are otherwise not known. Notice of the hearing shall also be advertised once in the newspaper.
- E. The Planning Commission shall conduct a public hearing and shall provide a reasonable opportunity for all interested parties to express their opinions.
- F. At the conclusion of the public hearing, but in no event more than thirty (30) days from the date set for the initial public hearing or any continuance thereof for the designation of a proposed historic landmark or historic site, the Planning Commission shall recommend, in writing, approval in whole or in part, or disapproval in whole or in part, of the application. Such written determination shall contain a description of the actual property or properties to be designated and shall be filed with the City Council, the City Clerk, and the Building Official. The City Clerk shall mail notice of such decision to the applicants and the owners and occupants of the proposed designated historic site or historic landmark. Notice shall also be mailed to any other interested parties as may request a copy thereof.
- G. The City Council, within thirty (30) days of receipt of the recommendations from the Planning Commission, or as soon thereafter as possible, shall by resolution approve the application in whole or in part, or shall by motion disapprove it in its entirety. The City Council shall hold a public hearing on such proposed resolution. Notice of the time and date set for the public hearing on such proposed resolution shall be mailed to all applicants and the owners and occupants of the proposed designated historic site or historic landmark. The Council, in its public hearing on the proposed resolution, shall provide a reasonable opportunity for all interested persons to express their opinions.
- H. The City Clerk shall notify the Building Official of any official designation adopted by resolution by the City Council. The Clerk shall also file within ninety (90) days of such designation with the County Recorder a certified copy of the resolution which shall include the name of the current property owner, the designating entity, the specific historic resources designation and a legal description of the property, together with a notice briefly stating the fact of said designation and a summary of the effects said designation will have. The Clerk further shall mail a copy of the

resolution approving said designation or a copy of the minute order showing disapproval of said designation, to all applicants and the owners and occupants of the proposed designated historic site or historic landmark, and to any other person who requests a copy.

- I. Failure to send any notice by mail to any property owner where the address of such owner is not a matter of public record shall not invalidate any proceedings in connection with the proposed designation. The Planning Commission and Council may also give such other notice as they may deem desirable and practicable.
- J. While an application for designation of an improvement as an historic landmark or the designation of an historic site is pending, no building, alteration, demolition, or removal permits for any proposed historic site or historic landmark shall be issued. Exceptions may be considered in case of hardship as defined in Section.9.81.14 of this Chapter.
- K. Annually, the Historic Preservation Board shall review the register of historic designations and present it to the Council, along with any recommended changes.

#### **9.81.07 Permit Required.**

It is unlawful for any person to tear down, demolish, construct, alter, remove or relocate any improvement, or any portion thereof, which has been designated an historic landmark or historic site pursuant to the provisions of this Chapter, or to alter in any manner any exterior architectural feature of such an historic landmark or historic site, or to place, erect, alter, or relocate any sign on an historic landmark or historic site, without first obtaining written approval to do so in the manner provided in this Chapter from the Director of Planning and Development Services.

#### **9.81.08 Permit Approval Procedure.**

The following procedures shall be followed in processing applications for approval of work covered by this Chapter:

- A. The Building Official shall report any application for a demolition permit or a building permit to work on a designated historic site or historic landmark to the Director of Planning and Development Services. If the permit seeks to demolish or significantly alter or reconstruct the historic site or historic landmark, the Director of Planning and Development Services shall refer such application to the Historic Preservation Board for its review and recommendation. The Historic Preservation Board shall review the application and shall submit its written recommendation to the Planning Commission within sixty (60) days after receipt of the application from the Director of Planning and Development Services. In connection with its review, the Historic Preservation Board may hold hearings and may require any documentation it believes reasonably necessary to make its recommendation. The Historic Preservation Board shall make all recommendations in accordance with the prescriptive standards adopted pursuant to Section 9.81.05 and 9.81.04 F.

- B. If the permit seeks to make minor alterations or repairs, the Director of Planning and Development Services shall review the permit and, if the proposed work complies with the Central Clovis Design Standards, as may be amended, approve the permit. Minor alterations are those alterations which the Director of Planning and Development Services or his/her designee determines will not adversely affect the exterior architectural characteristics nor the historical or aesthetic value of the historic structure, its site, or surroundings.
- C. If no building permit would otherwise be required pursuant to the City Code, application for approval to pursue work on a designated historic site or historic landmark shall be made to the Director of Planning and Development Services. If the proposed work is in compliance with the Central Clovis Design Standards, as may be amended, the Director of Planning and Development Services shall approve the application.
- D. All applications shall be accompanied by plans and specifications describing the proposed work as well as any other material considered by the Director of Planning and Development Services, Historic Preservation Board, or the Planning Commission to be reasonably necessary for the proper review of the proposed project.
- E. Whenever the application is to tear down, demolish, construct, alter, remove, or relocate any improvement, or any portion thereof, which has been designated a historic landmark or historic site pursuant to the provisions of this Chapter, the Planning Commission shall hold a public hearing thereon. The Planning Commission may hold public hearings on other applications as they deem necessary.

The hearing shall be held at the next available regularly scheduled Planning Commission meeting after receipt of the Historic Preservation Board's recommendation, and after proper notice has been given of such hearing. Notice of such hearing shall be given by first class mail to each applicant at least ten (10) days prior to the date set for such hearing. Notice of the hearing shall also be advertised once in the newspaper not less than five (5) calendar days prior to said hearing. Any hearing may be continued from time to time by the Planning Commission.

- F. At the close of the hearing, the Planning Commission shall approve or disapprove, in whole or in part, such application in accordance with the standards adopted pursuant to Section 9.81.05 and 9.81.04 F, considering the recommendations of the Historic Preservation Board. The Planning Commission's decision shall be in writing and shall state the findings of fact relied upon in reaching such decision. Such decision may be appealed to the City Council.



### **9.81.09 Permit Approval Criteria.**

The Director of Planning and Development Services, Planning Commission, or the City Council upon appeal, shall issue an approval for any proposed work as described in Section 9.81.08 based upon the following criteria or other criteria as determined by the Planning Commission pursuant to Section 9.81.05:

- A. In the case of any property designated a historic landmark, the proposed work would not detrimentally alter, destroy, or adversely affect any exterior architectural feature; or
- B. In the case of construction of a new improvement, building, or structure upon a historic site, the exterior of such improvements will not adversely affect and will be compatible with the external appearance of existing designated improvements, buildings, and structures on said site.

### **9.81.10 Appeals.**

Any interested party may appeal any decision of the Planning Commission pursuant to Section 9.81.09 to the City Council by filing an appeal within fifteen (15) days after the date of the notice of the Planning Commission's decision in accordance with the procedures and requirements set forth in Chapter 9.90 of the Municipal Code.

### **9.81.11 Ordinary Maintenance and Repair.**

Nothing in this Chapter shall be construed to prevent any reasonable uses of any property or properties covered by this Chapter that are not in conflict with the purposes of this Chapter, including the ordinary maintenance or repair of said property that does not involve a change in design, material, or external appearance thereof.

### **9.81.12 Unsafe or Dangerous Conditions.**

Nothing in this Chapter shall be construed to prevent any measures of construction, alteration or demolition necessary to correct the unsafe or dangerous condition of any structure, or feature or part thereof, covered by this Chapter, where such condition has been declared unsafe or dangerous by the Building Official or the Fire Marshal, and where the proposed measures have been declared necessary by such officials to correct such condition; provided, however, that only such work as is reasonably necessary to correct the unsafe or dangerous condition may be performed. In making a determination as to whether such work is reasonably necessary as aforesaid, the above-mentioned officials may refer to, and be guided by, the State Historical Building Code (H&S Code section 18950 et seq.) as the same may from time to time be amended, revised, or replaced.

### **9.81.13 Duty to Keep in Good Repair.**

The owner, occupant, or other person in actual charge of a historic resource shall keep in good repair all of the exterior portions of such improvement, building or structure. It shall be the duty of the Building Official to enforce this Section.

#### **9.81.14 Showing of Hardship.**

The Planning Commission need not disapprove an application for a permit to carry out any proposed work on a historic landmark or a historic site, if the applicant presents clear and convincing evidence of facts demonstrating to the satisfaction of the Planning Commission that such disapproval will cause immediate and substantial hardship on the applicant because of conditions peculiar to the person seeking to carry out the proposed work, whether this be the property owner, tenant, or resident, or because of conditions peculiar to the particular improvement, building, or structure or other feature involved, and that failure to disapprove the application will be consistent with the purposes of this Chapter. In determining whether extreme hardship exists, the Planning Commission shall consider, among others, the following criteria:

- A. Whether denial of the applicant will diminish the value of the subject property so as to leave substantially no value.
- B. Whether reasonable utilization of the property is prohibited or impractical.

If a hardship is found to exist under this Section, the Planning Commission shall make a written finding to that effect and shall specify the facts and reasons relied upon in making such finding. Such finding may be appealed to the City Council pursuant to the provisions of Section 9.81.10.

#### **9.81.15 No Retroactive Application.**

The provisions of this Chapter shall be inapplicable to the construction, alteration, demolition or removal of any structure or other feature on a designated historic landmark or historic site, where a permit for the performance of such work was issued prior to initiation of proceedings for such designation, and where such permit has not expired or been cancelled or revoked, provided that construction is started and diligently prosecuted to completion in accordance with the City Building Code.

#### **9.81.16 Failure to Act.**

If for any reason, the Historic Preservation Board fails to take action within the timelines provided in this Chapter, the matter shall automatically proceed to the Planning Commission for consideration and action.

Section 2. This Ordinance shall go into effect and be in full force from and after thirty (30) days after its final passage and adoption.

APPROVED:

---

Mayor

---

City Clerk

\* \* \* \* \*

The foregoing Ordinance was introduced and read at a regular meeting of the City Council held on this \_\_\_ day of \_\_\_\_\_ 2022, and was adopted at a regular meeting of said Council held on this \_\_\_ day of \_\_\_\_\_, 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Dated:

DRAFT

\_\_\_\_\_

City Clerk



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: September 12, 2022

SUBJECT: Consider items associated with approximately 310 acres of land bound by Leonard Avenue on the west, Thompson Avenue on the east, Gettysburg Avenue on the north, and Ashlan Avenue on the south. The Home Place Holdings, LLC Applicant, 4Creeks Inc. Representative; Sayre M. Miller, Trustee of the Sayre M. Miller Revocable Trust dated November 27, 2001, et. al., Owner. **(To be continued to September 19, 2022)**

a. Consider Introduction – Ord. 22-\_\_\_\_, Rezone 2021-001 and R2021-003, A request to establish a Master Plan Community (MPC) Overlay District in conjunction with Home Place Master Plan and a request to prezone properties within the boundaries of the Home Place Master Plan to a combination of base zone districts to implement the land uses identified in the Home Place Master Plan.

b. Consider Approval – Res. 22-\_\_\_\_, TM 6364, A request for a master tentative tract map to create approximately 1,174 new residential lots.

c. Consider Approval – Res. 22-\_\_\_\_, PDP 2022-002, A request for a planned development permit to establish development standards and criteria for the proposed Tract Map 6364.)

**Staff:** Dave Merchen, City Planner

**Recommendation:** Continue

This item will be continued to the September 19, 2022, Council Meeting.

Please direct questions to the City Manager's office at 559-324-2060.



# CITY *of* CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: September 12, 2022

SUBJECT: Consider Approval - Res. 22-\_\_\_\_, RO304, A Resolution of Application for the Annexation of the territory known as the Home Place – Gettysburg Leonard Southeast Reorganization encompassing approximately 304 acres of land generally bound by Leonard Avenue on the west, Thompson Avenue on the east, Gettysburg Avenue on the north, and Ashlan Avenue on the south. The Home Place Holdings, LLC Applicant; Sayre M. Miller, Trustee of the Sayre M. Miller Revocable Trust dated November 27, 2001, et. al., Owner. **(To be continued to September 19, 2022)**

**Staff:** Dave Merchen, City Planner  
**Recommendation:** Continue

This item will be continued to the September 19, 2022, Council Meeting.

Please direct questions to the City Manager's office at 559-324-2060.



# CITY of CLOVIS

## REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: September 12, 2022

SUBJECT: Consider items associated with approximately 4.45 acres of land located at the southeast corner of Armstrong and Gettysburg Avenues. Gary McDonald Homes/Gleneagles Homes, property owner/applicant; Harbour & Associates, representative. **(Mayor Pro Tem Ashbeck has a conflict of interest on this item)**

a. Consider Approval - Res. 22-\_\_\_\_, TM6403, A request to approve a vesting tentative tract map for a 15-lot single-family subdivision on approximately 4.45 acres of land.

b. Consider Approval - Res. 22-\_\_\_\_, PDP2022-001, A request to approve a planned development permit to allow deviations from the R-1-B (Single-Family Residential – 12,000 Sq. Ft.) Zone District residential development standards associated with TM6403.

**Staff:** George González, Senior Planner

**Recommendation:** Approve

ATTACHMENTS:

1. Draft Resolution, TM6403
2. Draft Resolution, PDP2022-001
3. Proposed Floor Plans and Elevations
4. Proposed Development Standards
5. Correspondence from Agencies and Departments
6. Correspondence from Neighboring Property Owner

### CONFLICT OF INTEREST

Mayor Pro Tem Ashbeck owns property within 1,000 feet of subject property and, pursuant to law, must abstain from participation and decision regarding this item.

### RECOMMENDATION

Planning Commission and staff recommend that the City Council:

- Approve Vesting Tentative Tract Map TM6403, subject to the conditions of approval listed as **Attachment A of Attachment 1**; and

- Approve Planned Development Permit PDP2022-001, subject to the conditions of approval listed as **Attachment A of Attachment 2**; and
- Make a finding of consistency that the dedication toward public right-of-way is proportionate to the development being requested.

### EXECUTIVE SUMMARY

The applicant is requesting approval of TM6403 and PDP2022-001 for property located at the southeast corner of Armstrong and Gettysburg Avenues as shown in **Figure 1**, for a 15-lot, gated single-family residential subdivision. If approved, the Planned Development Permit (PDP) will allow the Project to deviate from R-1-B development standards, including reduced setbacks and increased lot coverage. The proposed Project is consistent with the land use and density of the Clovis General Plan Land Use Diagram.

**FIGURE 1**  
**Project Location Map**



## BACKGROUND

- General Plan Designation: Low Density Residential (2.1 – 4.0 units per acre)
- Existing Zoning: R-1-B (Single-Family Residential – 12,000 Sq. Ft.)
- Lot Size: ±4.45 acres
- Current Land Use: Rural Residential
- Adjacent Land Uses:
  - North: Single-Family Residential
  - South: Single-Family Residential
  - East: Single-Family Residential
  - West: Single-Family Residential

## PROPOSAL AND ANALYSIS

As shown in **Attachment B of Attachment 1**, the applicant is requesting approval of a 15-lot single-family, gated, residential subdivision. The Project is consistent with the General Plan Land Use Designation; therefore, the Project will not require a general plan amendment. However, the project is requesting deviations from the R-1-B objective development standards including, but not limited to, public street requirements, lot coverage, and setbacks which require the approval of a PDP. The following discussion provides a detailed analysis of the Project.

### Tentative Tract Map

The applicant is requesting approval of vesting tentative tract map TM6403 for a single entry, 15 single-family lot subdivision with two cul-de-sacs, no sidewalks and landscaping features. The entry is proposed to be gated and the streets are proposed to be private. The map is consistent with the requirements of the Subdivision Map Act. The proposed map is provided as **Attachment B of Attachment 1**.

### Current Land Use/Surrounding Area

The Project site is currently vacant and located at the southeast corner of the Armstrong and Gettysburg Avenue intersection within the Clovis City limits. Most recently, a single-family home and accessory structures were demolished on the subject site. The Project is largely surrounded by existing single-family residential development to the north, east, south, and west.

### Circulation

There will be one access point to the proposed subdivision along Gettysburg Avenue, which will dead end on either side upon entry. The Project proposes an internal private street with 50 feet of right-of-way at the gated entry and 36-foot width from curb-to-curb within the subdivision, which is sufficient to accommodate vehicle parking on both sides of the street. Because the total width does not provide for sidewalks on both sides of the street to City standard, the streets will be required to be privately maintained. Based on the gated private access, the two cul-de-sac design, and the modest 15 lot capacity of the site, pedestrian activity within the subdivision will be minimal and no substantive impacts to pedestrian circulation would occur. Therefore, Staff does not object to the proposal to exclude sidewalks from the design. Each lot will provide two covered parking spaces via an attached garage and adequate room in the driveway (20' minimum depth) for additional guest parking. As part of the conditions of approval, the applicant agreed the prohibit street parking within the gated community, including overnight parking and guest street parking.



### Density

The Project consists of 15 lots on ±4.45 acres of land, which equates to 3.4 dwelling units per acre (DU/Ac). Therefore, the Project's density is consistent with the 2.1 to 4.0 DU/Ac required by the L (Low Density Residential) General Plan land use designation. The proposed density is also consistent with surrounding property within the immediate vicinity of the Project site.

### Residential Site Plan Review

Should the Project be approved, a subsequent residential site plan review will follow this application to allow Staff to review and memorialize lot-specific development standards. The associated Project landscaping, architecture and elevations will be reviewed through the civil plans.

### Planned Development Permit

The purpose of PDPs is to provide a method whereby land may be designed and developed by taking advantage of modern site planning techniques thereby resulting in more efficient use of land and a better living environment than is otherwise possible through strict application of the development standards. The applicant is requesting approval of a gated, detached single-family subdivision with a private street and no sidewalks. In order to accommodate the Project, the applicant's request also includes reduced setbacks and increased lot coverage.

### Lot Sizes and Development Standards

The Project is located within the R-1-B (Single-Family Residential Low Density) Zone District, which requires a minimum lot size of 12,000 square feet, minimum parcel width of 80 feet, minimum corner parcel width of 90 feet, and a minimum parcel depth of 110 feet. Other development standards of the R-1-B Zone District include a 35-foot minimum front yard setback, 5-foot minimum side yard setback and a 20-foot rear yard setback.

The Project proposes to deviate from lot size with lot sizes ranging from approximately 8,016 square feet to 10,047 square feet with an average lot size of 9,254 square feet. Lot widths are being proposed at a 70-foot minimum, and depths at a 98-foot minimum, both of which are below the minimum standard.

Other deviations include an increase in the maximum lot coverage and a reduction in the minimum front and side setbacks of the R-1-B Zone District. Consequently, a PDP has been requested by the applicant to accommodate the Project. The deviations from the Zone District standards will be accompanied by an appropriate amenity, as further described below. The Development Code, through the PDP process, permits the applicant to request deviations from the development standards otherwise applicable within a given zone district, such as setbacks and lot coverage. The applicant has provided a list of proposed standards, as follows, which are also provided in **Attachment 4**.

### TM6403 Planned Residential Development Standards

Development Feature	Existing Standard	Proposed Standard	Difference
Minimum Lot Area	12,000 sq. ft.	8,000 sq. ft.	-4,000 sq. ft.
Minimum Lot Width	80 ft.	70 ft.	-10 ft.
Minimum Lot Depth	110 ft.	98 ft.	-32 ft.
Minimum Corner Parcel Width	90 ft.	75 ft.	-15 ft.
Maximum Lot Coverage	30%	55%	+25%
Maximum Building Height	35 ft.	35 ft.	No change
Minimum Front Setback (to living space)	35 ft.	10 ft.	-25 ft.
Minimum Front Setback (to garage)	35 ft.	20 ft.	-10 ft.
Minimum Side Setback	5 ft (20 ft. aggregate)	5 ft.	No 20' aggregate
Minimum Street Side Setback	20 ft.	10 ft.	-10 ft.
Minimum Rear Yard Setback	20 ft.	20 ft. for all lots	No change

The applicant's intent is to construct larger homes (2500 square feet or larger) on the relatively large lots. The proposed development standards will increase the builder's flexibility to place a variety of homes on each lot and will facilitate the potential for accessory dwelling units (ADUs).

#### Proposed Amenities

Chapter 9.66 of the Clovis Municipal Code provides for flexibility in development standards as a mechanism to accommodate new types of projects that may not otherwise comply with strict adherence to typical development standards. As part of that request, PDPs are required to provide amenities commiserate to the deviations being requested.

In return for the reduced setbacks, garage sizes, increased lot coverage, and reduction in lot width and lot depth requirements, the applicant shall construct a bus stop shade structure near the project site as determined by the Engineering Division. If installing the shade structure is unfeasible as determined by the City Engineer, the applicant shall contribute a dollar amount totaling \$22,130 to the Engineering Division for utilization in future open space and/or park improvements.

When assessing the needs of the area and determining an adequate amenity, staff took a tiered approach. First, staff looked at the feasibility of providing an on-site public amenity but decided against it due to the relatively small size of the existing property. Second, staff looked at parks

and public spaces in the immediate vicinity. The parks in the immediate vicinity are in very good condition and there were not any public areas identified by staff in the Planning and Public Utilities Departments that would benefit from an amenity. Therefore, staff worked with the Engineering and Transit Divisions for a potential bus stop shade structure and found it appropriate to condition the above-described amenities for the proposed planned development permit.

It is important to note that amongst the findings that must be made to approve a PDP which include a public amenity, the proposed project must also produce a comprehensive development of superior quality than which might otherwise occur from more traditional development on the site. This could include an enhanced entry point, an embellished block wall on both street frontages, and superior exterior elevation design, all of which will be reviewed and approved with the residential site plan review for individual lots.

#### Parking and Toters

Although the applicant has not yet submitted plans for residential site plan review, each unit would include a 2-car garage at a minimum size of 20 feet by 20 feet interior dimension, which is consistent with development regulations for 2-car garages. On the garage side of the units, the applicant will need to provide a paved walkway for storage and access to trash toters. A condition of approval is recommended to ensure a paved path will be installed for each home. Additionally, the project will be required to comply with all applicable California Building Codes which includes the Green Building Code for electric vehicle (EV) charging capability and solar-power requirements for new residential developments.

#### Tree Removal and Structure Demolition

The Project recently removed the existing structures on site, consisting of one single-family home and other ancillary structures. A condition of approval was added to ensure compliance with the City of Clovis Tree Protection Standards outlined in Chapter 9.30 of the Clovis Municipal Code. Consistent with Clovis Tree Protection Standards, a tree removal permit would be required which would include, among other things, an arborist report, written explanation of why the trees should be removed, photographs of the trees, and a replanting plan.

This condition of approval would ensure that any trees removed would either be replaced elsewhere on the Project site or an in-lieu fee would be assessed to purchase trees for placement within the public right-of-way or on other public property as directed by the Public Utilities Department.

#### Review and Comments from Agencies

The Project was distributed to all City Divisions as well as outside agencies, including Caltrans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, and the State Department of Fish and Wildlife.

Comments received are attached (**Attachment 5**) only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

### Planning Commission Comments

The Planning Commission considered this Project on Thursday, July 28, 2022. The Commission recommended approval of the project by a vote of 5-0.

The Commission expressed safety concerns with the overall lack of sidewalks within the proposed gated development for the 15 residential lots. With the lack of sidewalks, there were concerns with children/pedestrians walking in the street. As a result, the applicant offered to restrict/prohibit on-street parking, which included guest parking and overnight parking through the Project's CC&Rs. Furthermore, residents within the gated development would need to provide a guest parking space on the driveway of each home. The applicant has placed similar street parking restrictions on other residential projects in the Fresno/Clovis area.

Additionally, the Commission modified the rear yard setback for all lots within TM6403 to require a minimum of 20-feet. The Commission felt that modifying the rear yard setback to 20-feet would provide for additional open space for children to play in the backyards. The applicant was supportive of this change in the conditions of approval for the Project. As a result, the Commission unanimously approved TM6403 and PDP2022-001 with the modified conditions of approval included as **Attachments 1A and 2A**.

### Public Comments

A public notice was sent to area residents within 600 feet of the property boundaries. Staff received one comment from a neighboring property to the south expressing concern regarding the scale of the homes and proposed development standards on the lots abutting his rear yard. Staff obtained conceptual layouts for both lots using the largest single and two-story models from the developer, both showing setback exceeding traditional standards. Email correspondence between staff and the neighbor is included as **Attachment 6**.

### Consistency with General Plan Goals and Policies

Staff has evaluated the Project in light of the General Plan Land Use goals and policies. The following goals and policies reflect Clovis' desire to maintain Clovis' tradition of responsible planning and well managed growth to preserve the quality of life in existing neighborhoods and ensure the development of new neighborhoods with an equal quality of life.

**Goal 6:** A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General Plan.

Policy 6.2: **Smart growth.** The city is committed to the following smart growth goals.

- Create a range of housing opportunities and choices.
- Create walkable neighborhoods.
- Foster distinctive, attractive communities with a strong sense of place.
- Mix land uses.
- Strengthen and direct development toward existing communities.
- Take advantage of compact building design.

### California Environmental Quality Act (CEQA)

The City has determined that this Project is exempt from CEQA pursuant to CEQA Guidelines Section 15332 (Class 32 – Infill Development Projects) and that applicable exceptions to the exemption under CEQA Guidelines Section 15300.2 (cumulative impacts and unusual circumstances) would not be triggered as a result of the project.

A Class 32 categorical exemption is appropriate for projects that: (a) are consistent with the applicable land use designation, General Plan policies, and zoning; (b) are within city limits on a project site of no more than five acres substantially surrounded with urban uses; (c) are located on sites with no value as habitat for endangered, rare, or threatened species; (d) would not result in significant effects relating to traffic, noise, air quality, and water quality; and (e) is located on a site that can be adequately served by all utilities.

Based on staff review, the Class 32 criteria are met and there are no significant cumulative effects or unusual circumstances with the Project rendering the exemption unavailable. Therefore, a Notice of Exemption has been completed. Staff will file the notice with the County Clerk if the Project is approved.

### **FISCAL IMPACT**

None.

### **REASON FOR RECOMMENDATION**

The proposed Vesting Tentative Tract Map 6403 is consistent with the goals and policies of the General Plan, and Development Code, subject to the conditions of approval included in **Attachments 1A and 2A**, respectively. Planning Commission and staff therefore recommend that the City Council approve TM6403 and PDP2022-001, subject to the conditions of approval provided. For each of the requested entitlements, findings are required. These finding are presented below, followed by a brief discussion on how the Project meets the finding.

### **Vesting Tentative Tract Map TM6403**

The findings to consider when making a decision on a tentative subdivision map application are as follows:

1. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan.

*The proposed map is consistent with several goals, and policies of the 2014 Clovis General Plan, including those identified above under the section of this staff report titled "Consistency with General Plan Goals and Policies." Furthermore, as described throughout this staff report, the Project is consistent with the existing General Plan land use designations of Low Density Residential.*

2. The site is physically suitable for the type and proposed density of development.

*The proposed Vesting Tentative Tract Map affects approximately 4.45 acres of land with a density of 3.4 units per acre. The average lot size within TM6403 will be 9,254 square feet. Therefore, the site is physically suitable for the proposed density of TM6403.*

3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

*The Project has been identified as categorically exempt per Class 32 Infill Development Projects. The existing site had a single-family dwelling and associated structures on 4.45 acres. Since the subject site was previously residentially developed, any improvements related to TM6403 would result in negligible impacts. Therefore, the Project will not cause substantial environmental damage or injury to fish and wildlife.*

4. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems.

*The Project was determined not to be detrimental to the public interest, health, safety, convenience, or general welfare of the City. During review of the Project, agencies and City departments had the opportunity to review the Project to ensure consistency with City codes and regulations. Further, the Project would be adequately served by water and sewer.*

5. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has acquired easements of access through or use of property within the proposed subdivision.

*The Project will not conflict with easements. During final review of the Project, the City Engineer and other outside agencies would check for easements and ensure that no conflicts would occur as a result of the Project.*

6. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board.

*The City Engineer has concluded that the City has capacity to accommodate the Project. Installation of sewer lines through the proposed subdivision and outside its boundaries will be done in compliance with requirements of the California Regional Water Quality Control Board.*

7. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities.

*The proposed subdivision will comply with the Clovis Development Code and California Building Code requirements as it relates to heating and cooling opportunities within TM6403.*

8. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

*The proposed subdivision is proposing a density of 3.4 units per acre, which is consistent with the Clovis General Plan. Where inconsistencies are identified, conditions of approvals have been added to ensure compliance with applicable Development Code regulations. Compliance with the Development Code would occur at various stages of plan review of the Project.*

9. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA).

*The Project has been identified as a categorical exemption. The Project is a class 32 In-Fill Development and does not require further environmental review.*

#### **Planned Development Permit PDP2022-001**

The findings to consider when making a recommendation of approval on a planned development permit application include:

1. The planned development permit would:
  - a. Be allowed within the subject base zoning district.

*The proposed PDP is allowed within the existing R-1-B Zone District within the Project boundaries. The underlying zone districts allow for the development of the subdivision per the proposed development standards attached as **Attachment 4**.*

- b. Be consistent with the purpose, intent, goals, policies, actions, and land use designations of the General Plan and any applicable specific plan.

*The proposed PDP is consistent with several goals, and policies of the 2014 Clovis General Plan, including those identified above under the section of this staff report titled "Consistency with General Plan Goals and Policies." Furthermore, as described throughout this staff report, the Project is consistent with the existing General Plan land use designations of Low Density Residential.*

- c. Be generally in compliance with all of the applicable provisions of this Development Code relating to both on- and off-site improvements that are necessary to

accommodate flexibility in site planning and property development and to carry out the purpose, intent, and requirements of this chapter and the subject base zoning district, including prescribed development standards and applicable design guidelines.

*The proposed PDP is in compliance with the development standards attached as Attachment 6. The project will comply with on- and off-site improvements as required and directed by the City Engineer to ensure compliance with the City's Development Code.*

- d. Ensure compatibility of property uses within the zoning district and general neighborhood of the proposed development.

*As indicated above, the proposed PDP is compatible with the R-1-B Zone District. The vicinity uses surrounding the proposed Project include single-family residential development and a public school. The proposed development is compatible with the general neighborhood and their associated zoning districts.*

2. The proposed project would produce a comprehensive development of superior quality (e.g., appropriate variety of structure placement and orientation opportunities, appropriate mix of structure sizes, high quality architectural design, increased amounts of landscaping and open space, improved solutions to the design and placement of parking facilities, incorporation of a program of enhanced amenities, etc.) than which might otherwise occur from more traditional development applications.

*The Project will provide an amenity associated with the PDP. The applicant shall construct a bus stop shade structure near the project site as determined by the Engineering Division. If installing the shade structure is unfeasible as determined by the City Engineer, the applicant shall contribute a dollar amount totaling \$22,130 to the Engineering Division for utilization in future park/ open space improvements.*

3. Proper standards and conditions have been imposed to ensure the protection of the public health, safety, and welfare.

*The proposed PDP will adhere to the Fire Department standards, Clovis Development Code and Building Code regulations for public health and safety compliance.*

4. Proper on-site traffic circulation and control is designed into the development to ensure protection for fire suppression and police surveillance equal to or better than what would normally be created by compliance with the minimum setback and parcel width standards identified in Division 2 of this title (Zoning Districts, Allowable Land Uses, and Zone-Specific Standards).

*The proposed PDP will comply with the Fire Department standards and City Engineer requirements regarding fire suppression and traffic circulation improvements associated with TM6403.*



5. The subject parcel is adequate in terms of size, shape, topography, and circumstances to accommodate the proposed development.

*The proposed Tentative Tract Map affects approximately 4.45 acres of land with a density of 3.4 units per acre. The average lot size within TM6403 will be 9,254 square feet. Therefore, the site is physically suitable to accommodate the proposed development.*

6. The design, location, operating characteristics, and size of the proposed development would be compatible with the existing and future land uses in the vicinity, in terms of aesthetic values, character, scale, and view protection.

*As indicated above, the proposed PDP is compatible with the existing land uses in the vicinity of the subject site. The proposed development will process a Residential Site Plan Review application where aesthetics and design will be evaluated in compliance with the Development Code. The Project will deviate from setback, garage size, lot width and depth, and lot coverage requirements stipulated in R-1-B Zone District development standards. However, the project will comply with the remaining underlying development standards and density for the R-1-B Zone District. The project will be required to provide enhanced amenities such as embellished block walls and entryway and development and elevations of superior quality. These features shall be compatible with the existing aesthetic value, character, scale and view protection of the properties within the project's vicinity.*

In light of court decisions, it is appropriate for the City to make findings of consistency between the required dedications and the proposed development. Every dedication condition needs to be evaluated to confirm that there is a rough proportionality, or that a required degree of connection exists between the dedication imposed and the proposed development.

The City of Clovis has made a finding that the dedication of property for this Project satisfies the development's proportionate contribution to the City's circulation system. The circulation system directly benefits the subject property by providing access and transportation routes that service the site. Further, the circulation system also enhances the property's value.

#### **ACTIONS FOLLOWING APPROVAL**

None.

Prepared by: George González, Senior Planner

Reviewed by: City Manager *AA*

**DRAFT  
RESOLUTION 22-\_\_**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING A VESTING TENTATIVE TRACT MAP FOR A 15-LOT SINGLE-FAMILY SUBDIVISION ON APPROXIMATELY 4.45 ACRES OF PROPERTY LOCATED AT THE SOUTHEAST CORNER OF ARMSTRONG AND GETTYSBURG AVENUES AND FINDING THE PROJECT IS EXEMPT FROM CEQA PURSUANT TO PUBLIC RESOURCES CODE SECTION 15332 (CLASS 32 – INFILL DEVELOPMENT)**

**WHEREAS**, Gary McDonald Homes/Gleneagles Homes, 11861 N Alicante Drive, Fresno, CA, 93704, submitted an application for Vesting Tentative Tract Map 6403 for a 15-lot single family subdivision (“Project”) on approximately 4.45 acres of property located on the southeast corner of Armstrong and Gettysburg Avenues (“Property”); and

**WHEREAS**, Vesting Tentative Tract Map 6403, was filed on February 4, 2022, and was presented to the Clovis Planning Commission for approval in accordance with the Subdivision Map Act of the Government of the State of California and Title 9, Chapter 2, of the Municipal Code and the City of Clovis; and

**WHEREAS**, the Planning Commission has considered said map on July 28, 2022, approving said map; and

**WHEREAS**, a public notice was sent out to area residents within 600 feet of said property boundaries ten days prior to said Planning Commission hearing; and

**WHEREAS**, the City scheduled a noticed Public Hearing on the Project for September 6, 2022; and

**WHEREAS**, the City published notice of the Public Hearing in the Fresno Business Journal, mailed public notices to area residents within 600 feet of said property boundaries ten days prior to the Public Hearing, and otherwise posted notice of the Public Hearing according to applicable law; and

**WHEREAS**, a duly noticed hearing was held on September 6, 2022; and

**WHEREAS**, the City Council has given careful consideration to this map on September 6, 2022, and considered the CEQA analysis outlined in the staff report and elsewhere in the Administrative Record which determines that the Project meets the requirements of a Class 32 (Infill Development) Categorical Exemption pursuant to CEQA Guidelines section 15332 and will not have a significant effect on the environment; and

**WHEREAS**, the City Council has reviewed and considered the entire Administrative Record relating to the Project, which is on file with the Department, and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials submitted with the request, and the verbal and written testimony and other evidence

presented during the public hearing, and the conditions of approval attached as **Attachment A** to this Resolution, which are incorporated herein by this reference.

**NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS,  
THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:**

1. The City Council hereby approves TM6403, subject to the conditions of approval set forth in **Attachment A** to this Resolution.
2. The Project satisfies the required findings for approval of a tentative tract map, as follows:
  - a. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan.
  - b. The site is physically suitable for the type and proposed density of development.
  - c. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
  - d. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems.
  - e. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has acquired easements of access through or use of property within the proposed subdivision.
  - f. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board.
  - g. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities.

- h. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.
  - i. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) and to this end the City Council finds that the Project is categorically exempt from CEQA pursuant to public resources code section 15332 (Class 32 – Infill Development) and will not have a significant effect on the environment.
3. Without the conditions of approval (**Attachment A** of this resolution), the City Council could not make the findings necessary for approval of vesting tentative tract map TM6403 (attached and labeled **Attachment B**).
  4. The basis for the findings is detailed in the September 6, 2022, staff report, which is hereby incorporated by reference, the entire Administrative Record, as well as the evidence and comments presented during the Public Hearing.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

AYES:  
 NOES:  
 ABSENT:  
 ABSTAIN:

DATED: September 12, 2022

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

### Conditions of Approval - TM6403

(Text modifications are in **Bold & Underline**)

(Text deletions are in ~~Strikethrough~~)

**(As approved and modified by the Planning Commission – July 28, 2022)**

#### Planning Division Comments

(George González, Senior Planner - (559) 324-2383)

1. **The applicant shall add a condition to the project's Covenants, Conditions and Restrictions (CC&Rs) to prohibit on-street parking, including guest parking and overnight parking.**
2. The applicant shall obtain City approval in advance of temporary and permanent subdivision signs through separate sign review, consistent with the development criteria of the Clovis Municipal Code Sign Ordinance.
3. The developer shall repair and or replace any broken or damaged irrigation lines, valves, and other equipment on their properties which are intended to serve adjacent or downstream properties.
4. No more than two of the same unit type (floor layout and exterior materials package) shall be repeated side by side. When two of the same units are repeated side by side, they shall be different colors. These identical provisions may be waived by the City Planner on a specific lot basis within the project when the size or configuration of a lot would otherwise prevent compliance with the above requirements of any other siting or setback/yard requirements established under this application. If such a waiver is requested, the developer and City Planner shall work together to ensure that any sitings of units not in compliance with the above requirements shall be of different materials and elevations in order to minimize any adverse visual impacts that may result.
5. As part of the required public amenities for the Planned Development Permit, the developer shall construct a bus stop shade structure near the project site as determined by the Engineering Division. If installing the shade structure is unfeasible as determined by the City Engineer, the applicant shall contribute a dollar amount totaling \$22,130 to the Engineering Division for utilization in future park/ open space improvements.
6. The proposed project must also produce a comprehensive development of superior quality than which might otherwise occur from more traditional development on the site. This could include an enhanced entry point, an embellished block wall on both street frontages, and superior exterior elevation design, all of which will be reviewed and approved through the civil plan review process and residential site plan review.
7. TM6403 is subject to the development standards of Planned Development Permit 2022-001. Any development standards not expressed within PDP2022-001 shall be

subject to the underlying Zone District R-1-B Standards and Guidelines. **The minimum rear yard setback shall be 20-feet for all lots within TM6403.**

8. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Municipal Code.
9. Maximum lot coverage for all lots within TM6403 is 55% unless specifically approved through a residential site plan review or variance.
10. The developer shall construct a minimum six-foot high solid masonry wall along both the Armstrong Avenue and Gettysburg Avenue frontage.
11. The developer shall record a Covenant regarding a “right to farm,” for adjacent property owners. Such agreement shall be disclosed to all future home buyers.
12. Landscape plans shall be reviewed and approved separately by the landscape review committee for tree and landscape type and location.
13. Prior to the submittal of civil plan review, the applicant shall submit a tree plan showing all existing trees with their variety. A tree removal/protection plan shall be reviewed and approved by the Director. Trees shall not be removed without approval from the Director.
14. Upon final recordation of this vesting tentative tract map, it shall be the applicant's responsibility to furnish to the Planning Department an electronic (PDF) copy of the original map obtained from the Fresno County Recorder's Office.
15. The applicant shall relay all conditions of approval for Vesting Tentative Tract Map 6403 to all subsequent purchasers of individual lots, if applicable, and/or to subsequent purchasers of this entire tract map development.
16. The applicant shall record a Notice of Nonconformance dealing with any structure used for model homes where the garage is converted for the use as a sales office.
17. All lighting shall be screened from direct view from the public right-of-way and adjacent residential properties.
18. All landscaping (open space and private yards) shall conform to the City of Clovis Water Efficient Landscape Ordinance.
19. This Project requires the submittal and approval of a residential site plan review entitlement for lot-specific development standards within TM6403. Specific color and materials of the models, walls, amenities, landscaping, and fencing will be evaluated through the civil plans.

20. The applicant shall provide an all-weather surface for the placement and storage of trash receptacles leading from the 5-foot side yard to the front of the property.
21. A minimum 6-foot high wood fence shall be placed along the southern and eastern property lines. If one is existing, it shall be of a condition to the satisfactory of the Planning Division and in compliance with fence standards.

### **Fire Department Conditions**

(Rick Fultz, Fire Department Representative – (559) 324-2214)

### **Roads / Access**

22. **Street Width:** Fire apparatus access width shall be determined by measuring from “base of curb” to “base of curb” for roadways that have curbs. When roadways do not have curbs, the measurements shall be from the edge of the roadway surface (approved all weather surface).
23. **Street Width for Single Family Residences:** Shall comply with Clovis Fire Standard #1.1.
24. **Street Width for Single Family Residences:** Minimum Access Road Width of 36 feet for Single Family Residences. Roads 36 feet or wider allow for Parking on both sides of street.
25. **Turning Radius:** All access way roads constructed shall be designed with a minimum outside turning radius of forty-five feet (45’).
26. **Temporary Street Signs:** The applicant shall install temporary street signs that meet City Temporary Street Sign Standard #1.9 prior to issuance of building permits within a subdivision.
27. **All Weather Access & Water Supply:** The applicant shall provide all weather access to the site during all phases of construction to the satisfaction of the approved Clovis Fire Department Standard #1.2.
28. **Security Gates:** All security gates shall comply with Clovis Fire Department Gates Standard #1.5. Plans shall be submitted for review and permits issued by Fire Department prior to installation. Gates shall be inspected and tested for operation prior to any occupancy.

### **Water Systems**

29. **Residential Fire Hydrant:** The applicant shall install 1 4 ½” x 2 ½” approved Residential Type fire hydrant(s) and “Blue Dot” hydrant locators, paint fire hydrant(s) yellow with blue top and caps, and paint the curb red as specified by the adopted Clovis Fire Department Standard #1.4. Plans shall be submitted to the Clovis Fire

Department for review and approval prior to installation. The hydrant(s) shall be charged and in operation prior to any framing or combustible material being brought onto the site. Hydrants curb markings and blue dots to be completed prior to occupancy of any homes.

30. **Looped Water Main:** The applicant shall install approved looped water main capable of the necessary flow of water for adequate fire protection and approved by the Clovis Fire Department.

**Engineering / Utilities / Solid Waste Division Conditions**  
(Sean Smith, Engineering Division Representative – 324-2363)  
(Paul Armendariz, Department Representative – 324-2649)

### **Maps and Plans**

31. The applicant shall have a final tract map prepared, in the form prescribed by the Subdivision Map Act and City of Clovis Municipal Code. The final tract map shall be submitted to the City of Clovis Engineering Division, and should include, but not be limited to, final tract map, the current filing fee, closure calculations, current preliminary title report, legal descriptions and drawings of required dedications.
32. The applicant shall submit separately to the City of Clovis Engineering Division, a set of construction plans on 24" x 36" sheets with City standard title block for all required improvements and a current preliminary title report. These plans shall be prepared by a registered civil engineer, and shall include a grading plan, landscape plan, a site plan showing trash enclosure locations and an overall site utility plan showing locations and sizes of sewer, water, storm drain, and irrigation mains, laterals, manholes, meters, valves, hydrants, fire sprinkler services, other facilities, etc. Plan check and inspection fees per City of Clovis Resolution No. 21-102 shall be paid with the first submittal of said plans. All plans shall be submitted at or before the time the building plans are submitted to the Building Division and shall be approved by the City and all other involved agencies prior to the release of any development permits.
33. Prior to the initial submittal of the improvement plans, the applicant shall contact Sean Smith at (559) 324-2363 to setup a coordination meeting (Pre-submittal Meeting).
34. Upon approval of improvement plans, the applicant shall provide the City with the appropriate number of copies. After all improvements have been constructed and accepted by the City, the applicant shall submit to the City of Clovis Engineering Division (1) digital copy to the City in PDF format of the approved set of construction plans revised to accurately reflect all field conditions and revisions and marked "AS-BUILT" for review and approval. Upon approval of the AS-BUILTs by the City, and prior to granting of final occupancy or final acceptance, the applicant shall provide (1) digital copy to the City in PDF format.



**General Provisions**

35. The applicant shall pay all applicable development fees at the rate in effect at the time of payment and prior to final map approval by Council or have the fees payable directly to the City through a separate escrow account at the time of recordation of the map.
36. The applicant is advised that, pursuant to California Government Code, Section 66020, any party may protest the imposition of fees, dedications, reservations, or other exactions imposed on a development project by a local agency. Protests shall be filed in accordance with the provisions of the California Government Code and shall be filed within 90 days after conditional approval of this application is granted. The 90 day protest period for this project shall begin on the "date of approval" as indicated on the "Acknowledgment of Acceptance of Conditions" form.
37. All reimbursement requests shall be prepared and submitted in accordance with the requirements of the current version of the "Developer Reimbursement Procedures" a copy of which may be obtained at the City Engineer's Office.
38. The applicant shall install all improvements within public right-of-way and easements in accordance with the City of Clovis standards, specifications, master plans, and record drawings in effect at the time of improvement plan approval.
39. The applicant shall address all conditions, and be responsible for obtaining encroachment permits from the City of Clovis for all work performed within the City's right-of-way and easements.
40. The applicant shall submit a soils report or a waiver of soils report to the City of Clovis Engineering Division for approval by the City Engineer.
41. The applicant shall provide and pay for all geotechnical services per City policy.
42. The applicant shall comply with the requirements of the local utility, telephone, and cable companies. It shall be the responsibility of the applicant to notify the local utility, telephone, and cable companies for the removal or relocation of utility poles where necessary. The City shall not accept first submittals without proof that the applicant has provided the improvement plans and documents showing all proposed work to the utility, telephone, and cable companies. All utility vaults in which lids cannot be sloped to match proposed finished grading, local utilities have 5% max slope, shall be located in sidewalk areas with pedestrian lids so the lid slope matches sidewalk cross slope.
43. All existing overhead and new utility facilities located on-site, within alleys, or within the street right-of-way along the streets adjacent to this tract shall be undergrounded unless otherwise approved by the City Engineer.
44. The applicant shall contact and address all requirements of the United States Postal Service Clovis Office for the location and type of mailboxes to be installed. The

location of the facilities shall be approved by the City Engineer prior to approval of improvement plans or any construction.

45. The applicant shall contact and address Caltrans requirements. The applicant shall be required to mitigate impacts to State Highway facilities as determined by the City Engineer.

### **Dedications and Street Improvements**

46. The applicant shall provide right-of-way acquisition or dedicate free and clear of all encumbrances and/or improve the following streets to City standards. The street improvements shall be in accordance with the City's specific plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the type, location, and grades of existing improvements.
- a. Gettysburg Avenue – Along frontage, dedicate to provide right-of-way acquisition for 42' (exist 20') south of centerline, and improve with curb, gutter, sidewalk, curb return ramps, street lights, landscape strip, permanent paving and overlay as necessary to match the existing permanent pavement.
  - b. Armstrong Avenue – Along frontage, dedicate to provide right-of-way acquisition for 42' (exist 20') east of centerline, and improve with curb, gutter, sidewalk, curb return ramps, street lights, landscape strip, permanent paving and overlay as necessary to match the existing permanent pavement.
  - c. Gated Developments – Provide ample vehicle stacking area outside the travel lanes of Gettysburg Avenue that will allow vehicles to wait as vehicles are accessing the control panel to open the security gates. Design a turn-around to allow vehicles that cannot enter the complex to return to the street without backing the vehicle up. Provide the Solid Waste Division with remote controls that will allow access for all solid waste and recycling vehicles.
  - d. Interior streets shall be private, with a minimum travel width of 36' for two-way traffic and parking on both sides.
  - e. Cul-De-Sacs - dedicate to provide for 52' radius and improve with curb, gutter, sidewalk, street lights, 43' permanent paving and all transitional paving as needed.
  - f. The applicant shall relinquish all access to Armstrong and Gettysburg Avenues for Lots 1 to 3 and Lots 11 to 15.

47. The applicant shall provide a dedication for a 10' public utility easement, where applicable, along all frontages or alternate widths approved by the utilities companies.
48. For new onsite ADA paths of travel that connect to the City sidewalk, the applicant shall replace enough sidewalk to provide a compliant landing with appropriate transitions to existing sidewalk grades.
49. The applicant shall remove and repair all damaged or broken concrete improvements. The City Engineer may require the repair of additional improvements if they are damaged prior to occupancy.
50. The applicant shall not install any fences, temporary or permanent in public right-of-way.
51. The applicant shall obtain "R Value" tests in quantity sufficient to represent all street areas, and have street structural sections designed by a registered civil engineer based on these "R Value" tests.

### **Sewer**

52. The applicant shall identify and abandon all septic systems to City standards.
53. The applicant shall install sanitary sewer mains of the size and in the locations indicated below, prior to occupancy. The sewer improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains shall require approval of the City Engineer and shall be supported by appropriate calculations.
  - a. Interior Private Streets – install 8" mains.
54. The applicant shall install one (1) 4" sewer service house branch to each lot within the tentative tract.

### **Water**

55. The applicant shall identify and abandon all water wells to City standards.
56. The applicant shall install water mains of the sizes and in the locations indicated below, and provide an adequately looped water system prior to occupancy. The water improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any

alternative routing of the mains shall require approval of the City Engineer and shall be supported by appropriate calculations.

- a. Interior Private Streets – install 8” mains.
57. The applicant shall provide dedication of 15-foot wide utility easements for all on-site water mains, hydrants, blow-offs, and water meters not located in otherwise dedicated rights-of-way.
  58. The applicant shall install a City standard water service to each lot of the proposed subdivision. Water services shall be grouped at property lines to accommodate automatic meter reading system, including installation of connecting conduit. The water meter shall be placed in the sidewalk and not in planters or driveways.
  59. Prior to recording a final map of any phase, the applicant shall demonstrate to the satisfaction of the City Fire Chief and City Engineer that there is adequate water pressure to serve the units to be constructed. The applicant shall work with the City Engineer to determine the adequacy of water supply/pressure for the proposed development.

### **Grading and Drainage**

60. The applicant shall contact the Fresno Metropolitan Flood Control District (FMFCD) and address all requirements, pay all applicable fees required, obtain any required NPDES permit, and implement Best Available Technology Economically Achievable and Best Conventional Pollutant Control Technology to reduce or eliminate storm water pollution. Plans for these requirements shall be included in the previously required set of construction plans, and shall be submitted to and approved by FMFCD prior to the release of any development permits.
61. Grade differentials between lots and adjacent properties shall be adequately shown on the grading plan and shall be treated in a manner in conformance with City of Clovis Standard Drawing No. M-4 as modified by the City Council. Any retaining walls required on-site or in public right of way shall be masonry construction. All retaining walls shall be designed by a registered civil engineer.

### **Irrigation and Landscaping Facilities**

62. The applicant, as a portion of the required tract improvements, shall provide landscaping and irrigation as required herein. The landscaping and irrigation shall be installed in public right-of-way and the area reserved for landscaping. The irrigation and landscape improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Plans for the required landscaping and irrigation systems shall be prepared by an appropriately registered professional at the applicant's expense

- and shall be approved by the City of Clovis Planning and Development Services Department and Public Utilities Department prior to the beginning of construction or the recording of the final tract map, whichever occurs first. Landscape and irrigation facilities that the City Landscape Maintenance District shall maintain: the landscape strips along Gettysburg and Armstrong Avenues. The landscape strip around the planned unit development may be maintained by a perpetual maintenance covenant.
63. The owner shall request annexation to and provide a covenant for the Landscape Maintenance District. The property owner acknowledges and agrees that such request serves as a petition pursuant to California State Proposition 218 and no further election shall be required for the establishment of the initial assessment. The assessment for each lot shall be obtained from the City for the tax year following the recordation of the final map. The estimated annual assessment per average sized lot is \$179.61, which is subject to change prior to issuance of building permit or final tract map approval and is subject to an annual change in the range of the assessment in the amount of the Consumer Price Index, U.S. City Average, All Urban Consumers (CPI Index), plus two percent (2%). The owner/developer shall notify all potential lot buyers before they actually purchase a lot that this tract is a part of a Landscape Maintenance District and shall inform potential buyers of the assessment amount. Said notification shall be in a manner approved by the City. The owner/developer shall supply all pertinent materials for the Landscape Maintenance District.
  64. The applicant shall comply with the City of Clovis Water Efficient Landscape Requirements Ordinance.
  65. The applicant shall contact and address all requirements of the Fresno Irrigation District (FID). This may include dedicating easements, piping or relocating any existing FID canals and ditches, replacing any existing irrigation piping, concrete lining or improving any existing canals, construction or reconstruction of any canals, culverts, and bridge crossings. Plans for these requirements and improvements shall be included as in the previously required set of construction plans, and shall be submitted to and approved by FID prior to the release of any development permits or recording of the final tract map. If a FID or private irrigation line is to be abandoned, the applicant shall provide waivers from all downstream users.
  66. The applicant shall indicate on construction drawings the depth, location and type of material of any existing Fresno Irrigation District's irrigation line along the proposed or existing street rights-of-way or onsite. Any existing canals shall be piped. The material of the existing pipe shall be upgraded to the proper class of rubber gasket pipe at all locations unless otherwise approved by the City Engineer.
  67. All existing agricultural irrigation systems either on-site or in public right of way, whether FID or privately owned, shall be identified prior to any construction activity

on the site. Service to all downstream users of irrigation water shall be maintained at all times through preservation of existing facilities or, if the existing facilities are required to be relocated, the relocation and replacement of the existing facilities. It is the intent that downstream users not bear any burden as a result of development of the site. Therefore, the applicant shall pay all costs related to modification, relocation, or repair of any existing irrigation facilities resulting from or necessitated by the development of the site. The applicant shall identify on site plans and construction plans, all existing irrigation systems and their disposition (abandonment, repair, relocation, and/or piping). The applicant shall consult with the Fresno Irrigation District for any additional requirements for lines to be abandoned, relocated, or piped. The applicant shall provide waivers from all users **in order to abandon or modify any irrigation pipelines or for any service interruptions resulting from development activities.**

68. The applicant shall provide a perimeter wall perpetual maintenance covenant on all properties that have a perimeter wall that is installed on private property. A recordable covenant shall be submitted to and approved by the City of Clovis City Engineer prior to final map approval.

### **Miscellaneous**

69. The applicant shall install seven (7) street lights per the attached street light exhibit. Street lights along the major streets shall be installed on metal poles to local utility provider's standards at the locations designated by the City Engineer. Street light locations shall be shown on the utility plans submitted with the final map for approval. Street lights at future traffic signal locations shall be installed on approved traffic signal poles, including all conduits and pull boxes. Street lights along the major streets shall be owned and maintained by local utility providers. Proof of local utility provider's approval shall be provided. The applicant may install thematic lighting, as approved by the City Engineer. If the applicant chooses to install thematic lighting, the applicant shall provide a conceptual lighting plan identifying adjacent properties that may be incorporated with thematic lights to create a neighborhood effect. Thematic lighting owned by the City shall be maintained by an additional landscape maintenance assessment.
70. The applicant shall install all major street monumentation and section corner monumentation within the limits of the project work in accordance with City Standard ST-32 prior to final acceptance of the project. Monumentation shall include all section corners, all street centerline intersection points, angle points and beginning and end of curves (E.C.'s & B.C.'s). The applicant/contractor shall furnish brass caps. Any existing section corner or property corner monuments damaged by this development shall be reset to the satisfaction of the City Engineer. A licensed land surveyor or civil engineer licensed to perform land surveying shall certify the placement of all required monumentation prior to final acceptance. Brass caps required for installation of new monuments or replacement of existing monuments shall be provided by the contractor/the

applicant and approved by City prior to installation. Within five days after the final setting of all monuments has been completed, the engineer or surveyor shall give written notice to the City Engineer that the final monuments have been set. Upon payment to the engineer or surveyor for setting the final monuments, the applicant shall present to the City Engineer evidence of the payment and receipt thereof by the engineer or surveyor.

71. A deferment, modification, or waiver of any engineering conditions shall require the express written approval of the City Engineer.
72. The conditions given herein are for the entire development. Additional requirements for individual phases may be necessary pending review by the City Engineer.

**Fresno Municipal Flood Control District (FMFCD) Comments**

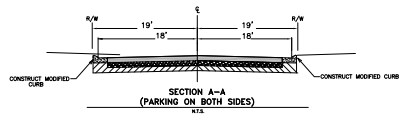
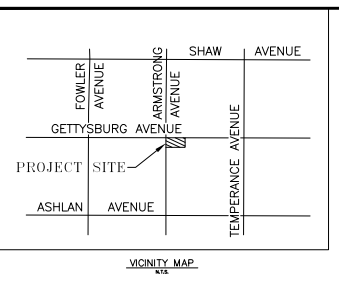
(Robert Villalobos, Department Representative – 559-456-3292)

73. The applicant shall refer to the attached FMFCD correspondence. If the list is not attached, please contact the California Department of Transportation for the requirements.

**Fresno Irrigation District (FID) Conditions**

(Christopher Lundeen, Department Representative – 559-233-8227)

74. The applicant shall refer to the attached FID correspondence. If the list is not attached, please contact the California Department of Transportation for the requirements.



- LEGEND:**
- ⊠ INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
  - DIRECTION OF STORMWATER FLOW
  - ⊠ EXISTING POWER POLE TO BE REMOVED
  - PUE PUBLIC UTILITY FACILITY NOW OFFERED FOR DEDICATION FOR PUBLIC USE
  - ⊠ INDICATES OUTLET LETTER

EXISTING BUILDINGS  
EXISTING BUILDINGS TO BE REMOVED

EXISTING TREES  
EXISTING TREES TO BE REMOVED

EXISTING USE  
LOW DENSITY RESIDENTIAL

PLANNED LAND USE  
LOW DENSITY RESIDENTIAL

PROPOSED USE  
LOW DENSITY RESIDENTIAL

EXISTING ZONING  
R-1-B

PROPOSED ZONING  
R-1-B

SOURCE OF WATER  
CITY OF CLOVIS

SOURCE OF SEWAGE DISPOSAL  
CITY OF CLOVIS

SOURCE OF WASTE DISPOSAL  
CITY OF CLOVIS

SOURCE OF ELECTRICITY  
PG&E

SOURCE OF DATA  
RECORD INFORMATION

SOURCE OF GAS  
PG&E

SOURCE OF CABLE T.V.  
COMCAST

SOURCE OF TELEPHONE  
AT&T

ASSESSOR'S PARCEL NUMBER  
552-120-15

SITE AREA  
4.45 AC. (GROSS)  
4.05 AC. (NET)

NUMBER OF LOTS  
15

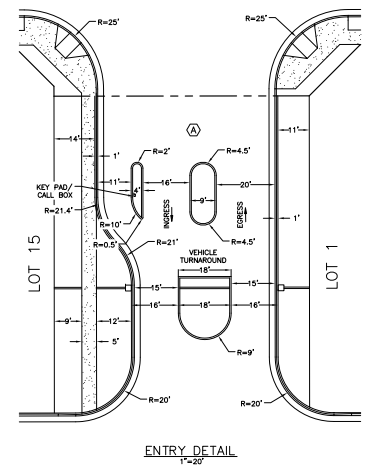
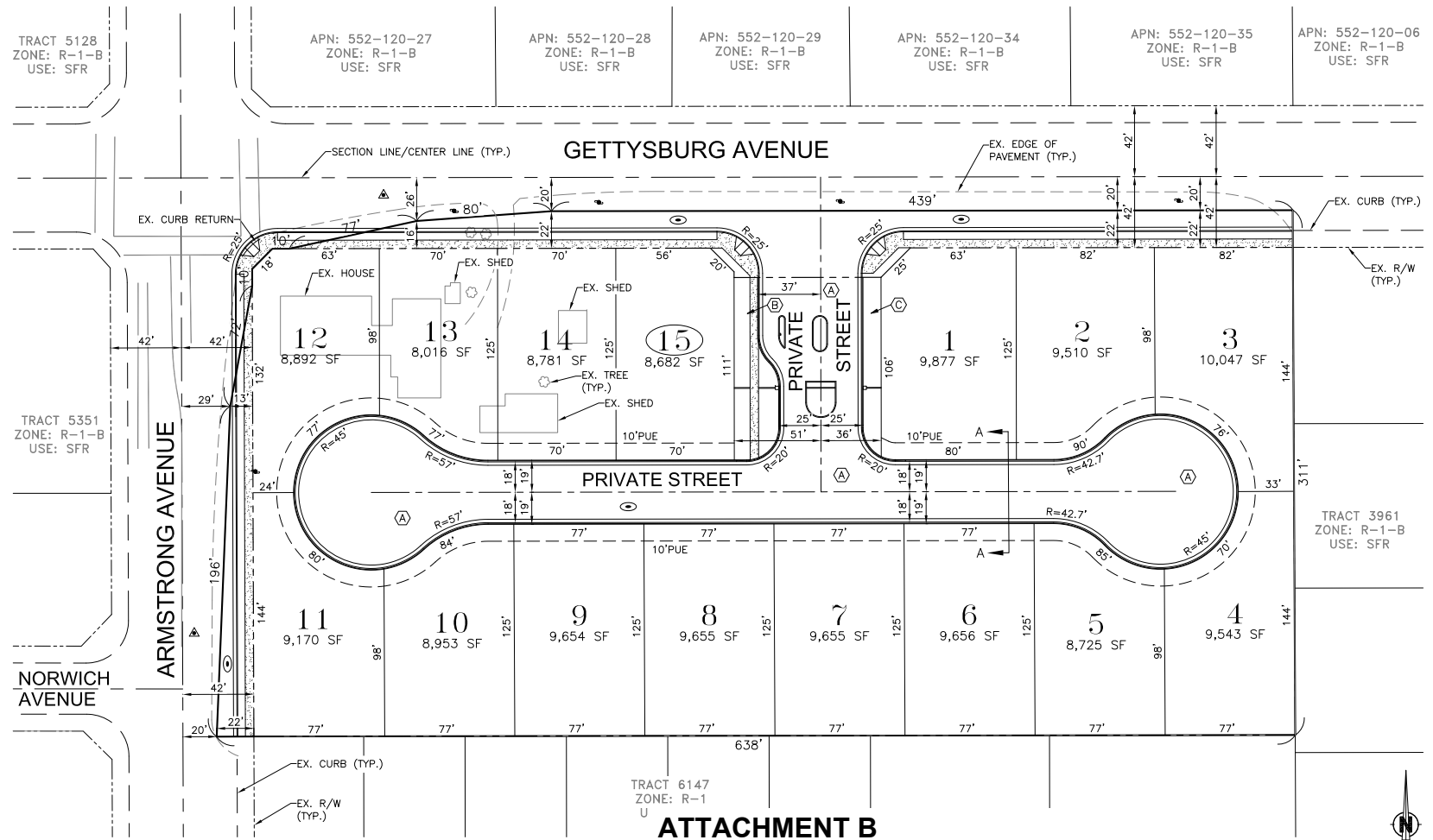
DENSITY  
3.70 UNITS PER ACRE

AVERAGE LOT SIZE  
9,254 SF

ADDRESS  
2843 ARMSTRONG AVENUE  
CLOVIS, CA 93611

OUTLET SCHEDULE  
OUTLET A IS FOR PRIVATE STREET & PUBLIC UTILITY PURPOSES.  
OUTLET B IS FOR PRIVATE STREET, PRIVATE LANDSCAPING & PUBLIC UTILITY PURPOSES.  
OUTLET C IS FOR PRIVATE LANDSCAPING & PUBLIC UTILITY PURPOSES.

VESTING  
TENTATIVE SUBDIVISION MAP  
OF  
**TRACT NO. 6403**  
A PLANNED DEVELOPMENT  
IN THE CITY OF CLOVIS  
FRESNO COUNTY, CALIFORNIA



**LEGAL DESCRIPTION:**

THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MOUNT Diablo BASE AND MERIDIAN, ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS.

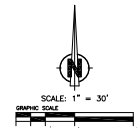
EXCEPTING THEREFROM ANY PORTION THEREOF LYING SOUTH OF THE NORTH LINE OF TRACT NO. 6147 ACCORDING TO THE MAP THEREOF FILED FOR RECORD NOVEMBER 4, 2016 IN BOOK 86 OF PLATS, AT PAGES 44 AND 45, FRESNO COUNTY RECORDS.

ALSO EXCEPTING THEREFROM ANY PORTION THEREOF LYING EAST OF THE WEST LINE OF TRACT NO. 3961, ADLEY ESTATES II, ACCORDING TO THE MAP THEREOF FILED FOR RECORD JULY 28, 1989 IN BOOK 49 OF PLATS, AT PAGES 3 AND 4, FRESNO COUNTY RECORDS.

AND ALSO EXCEPTING THEREFROM THAT PORTION AS CONVEYED TO THE CITY OF CLOVIS BY GRANT DEED RECORDED JUNE 28, 1998 AS DOCUMENT NO. 9805798, FRESNO COUNTY RECORDS.

- NOTES:**
- THERE ARE NO EXISTING ABOVE GROUND USES OR STRUCTURES SUCH AS BUILDINGS, WATER WELLS, POWER LINES, TOWERS, ETC. WITHIN THE PROPOSED SUBDIVISION. (EXCEPT IF SHOWN)
  - THE AREA IS WITHIN FLOOD ZONE X
  - THERE ARE NO EXISTING UNDERGROUND FEATURES SUCH AS WELLS, CESSPOOLS, SEWERS, CULVERTS, STORM DRAINS, DAMP SITES AND OTHER UNDERGROUND STRUCTURES WITHIN THE PROPOSED SUBDIVISION. (EXCEPT IF SHOWN)
  - THE DESIGN OF THE PROPOSED SUBDIVISION PROVIDES AS FEASIBLE FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NONRENEWABLE ENERGY RESOURCES AS PROVIDED IN THE SUBDIVISION MAP ACT. THE USE OF THE LOTS ARE ORIENTED NORTH AND SOUTH.
  - ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF FRESNO TO CITY STANDARDS, AND SHALL INCLUDE SANITARY SEWER, DOMESTIC WATER, UNDERGROUND POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, SIDEWALKS, PERMANENT STREET PAVING, STREET LIGHTS, ETC. ON CITY STREETS WILL BE PRIVATE AND AS APPROVED BY THE CITY OF FRESNO.
  - GRACE DIFFERENCES OF 4" OR MORE DO NOT CURRENTLY EXIST ACROSS PROPERTY LINES AND WILL NOT EXIST AFTER DEVELOPMENT OF PROJECT DRAINAGE.

**ATTACHMENT B**



TENTATIVE SUBDIVISION MAP

OWNER & SUBDIVIDER  
GlenEagles Homes, A California Corporation

192

Harbour & Associates  
Civil Engineers  
300 Clifton Avenue, Suite 300 • Clovis, California 93612  
(505) 325-7078 • Fax (505) 325-7088 • www.harbourandassociates.com

DATE: 3-4-22 SCALE: 1"=30' DRAWN BY: SDH

1 OF 1



**DRAFT  
RESOLUTION 22-\_\_**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING A PLANNED DEVELOPMENT PERMIT FOR VESTING TENTATIVE TRACT MAP 6403 LOCATED AT THE SOUTHEAST CORNER OF ARMSTRONG AND GETTYSBURG AVENUES AND FINDING THE PROJECT IS EXEMPT FROM CEQA PURSUANT TO PUBLIC RESOURCES CODE SECTION 15332 (CLASS 32 – INFILL DEVELOPMENT)**

**WHEREAS**, Gary McDonald Homes/Gleneagles Homes, 11861 N Alicante Drive, Fresno, CA, 93730, submitted an application for a Planned Development Permit (2022-001) to deviate from the R-1-B Zone District development standards associated with Vesting Tentative Tract Map 6403 for a 15-lot single family subdivision (“Project”) on approximately 4.45 acres of property located on the southeast corner of Armstrong and Gettysburg Avenues (“Property”); and

**WHEREAS**, the proposed Planned Development Permit is in keeping with the intent and purpose of the Zoning Ordinance; and

**WHEREAS**, the Planning Commission has considered said Planned Development Permit (PDP) on July 28, 2022, approving said PDP; and

**WHEREAS**, a public notice was sent out to area residents within 600 feet of said property boundaries ten days prior to said Planning Commission hearing; and

**WHEREAS**, the City scheduled a noticed Public Hearing on the Project for September 6, 2022; and

**WHEREAS**, the City published notice of the Public Hearing in the Fresno Business Journal, mailed public notices to area residents within 600 feet of said property boundaries ten days prior to the Public Hearing, and otherwise posted notice of the Public Hearing according to applicable law; and

**WHEREAS**, a duly noticed hearing was held on September 6, 2022; and

**WHEREAS**, the City Council has given careful consideration to this Planned Development Permit on September 6, 2022, and considered the CEQA analysis outlined in the staff report and elsewhere in the Administrative Record which determines that the Project meets the requirements of a Class 32 (Infill Development) Categorical Exemption pursuant to CEQA Guidelines section 15332 and will not have a significant effect on the environment; and

**WHEREAS**, the City Council has reviewed and considered the entire Administrative Record relating to the Project, which is on file with the Department, and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials submitted with the request, and the verbal and written testimony and other evidence presented during the public hearing, and the conditions of approval attached as **Attachment A** to this Resolution, which are incorporated herein by this reference.

**ATTACHMENT 2**

**WHEREAS**, this Council finds and determines that approval of the Project as shown in **Attachment B** should be conditioned on all conditions recommended by the City staff, as set forth in **Attachment A** which is on file with the City Clerk's office.

**NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS, THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:**

1. The City Council hereby approves PDP2022-001, subject to the conditions of approval set forth in **Attachment A** of this Resolution.
2. The Project satisfies the required findings for approval of a Planned Development Permit, as follows:
  - a. The Project is allowed within the subject base zoning district;
  - b. The Project is consistent with the purpose, intent, goals, policies, actions, and land use designations of the General Plan and any applicable specific plan;
  - c. The Project is generally in compliance with all of the applicable provisions of this Development Code relating to both on- and off-site improvements that are necessary to accommodate flexibility in site planning and property development and to carry out the purpose, intent, and requirements of this chapter and the subject base zoning district, including prescribed development standards and applicable design guidelines;
  - d. The Project ensures compatibility of property uses within the zoning district and general neighborhood of the proposed development;
  - e. The Project would produce a comprehensive development of superior quality (e.g., appropriate variety of structure placement and orientation opportunities, appropriate mix of structure sizes, high quality architectural design, increased amounts of landscaping and open space, improved solutions to the design and placement of parking facilities, incorporation of a program of enhanced amenities, etc.) than which might otherwise occur from more traditional development applications;
  - f. Proper standards and conditions have been imposed to ensure the protection of the public health, safety, and welfare;
  - g. Proper on-site traffic circulation and control is designed into the development to ensure protection for fire suppression and police surveillance equal to or better than what would normally be created by compliance with the minimum setback and parcel width standards identified in Division 2 of this title (Zoning Districts, Allowable Land Uses, and Zone-Specific Standards);

- h. The subject parcel is adequate in terms of size, shape, topography, and circumstances to accommodate the proposed development; and
  - i. The design, location, operating characteristics, and size of the proposed development would be compatible with the existing and future land uses in the vicinity, in terms of aesthetic values, character, scale, and view protection.
3. The City Council could not make the findings necessary for approval of PDP2022-001 without the conditions of approval set forth in **Attachment A** to this Resolution.
  4. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) and to this end the City Council finds that the Project is categorically exempt from CEQA pursuant to public resources code section 15332 (Class 32 – Infill Development) and will not have a significant effect on the environment.
  5. The basis for the findings is detailed in the September 6, 2022, staff report, which is hereby incorporated by reference, the entire Administrative Record, as well as the evidence and comments presented during the public hearing.

\* \* \* \* \*

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on September 12, 2022, by the following vote, to wit.

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

DATED: September 12, 2022

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**Conditions of Approval – PDP2022-001**  
 (Text modifications are in **Bold & Underline**)  
 (Text deletions are in ~~Strikethrough~~)

**(As approved and modified by the Planning Commission – July 28, 2022)**

**Planning Division Comments**

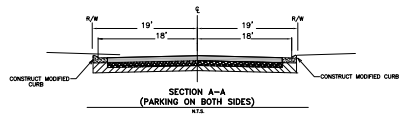
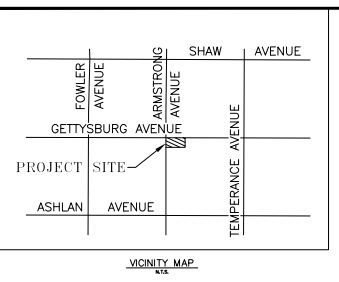
(George González, Senior Planner - (559) 324-2383)

1. **The applicant shall add a condition to the project's Covenants, Conditions and Restrictions (CC&Rs) to prohibit on-street parking, including guest parking and overnight parking.**
2. As part of the required public amenities for the Planned Development Permit, the developer shall construct a bus stop shade structure near the project site as determined by the Engineering Division. If installing the shade structure is unfeasible as determined by the City Engineer, the applicant shall contribute a dollar amount totaling \$22,130 to the Engineering Division for utilization in future park/ open space improvements.
3. The proposed project must also produce a comprehensive development of superior quality than which might otherwise occur from more traditional development on the site. This could include an enhanced entry point, an embellished block wall on both street frontages, and superior exterior elevation design, all of which will be reviewed and approved through the civil plan review process and residential site plan review.
4. No more than two of the same unit type (floor layout and exterior materials package) shall be repeated side by side. When two of the same units are repeated side by side, they shall be different colors. These identical provisions may be waived by the City Planner on a specific lot basis within the project when the size or configuration of a lot would otherwise prevent compliance with the above requirements of any other siting or setback/yard requirements established under this application. If such a waiver is requested, the developer and City Planner shall work together to ensure that any sitings of units not in compliance with the above requirements shall be of different materials and elevations in order to minimize any adverse visual impacts that may result.
5. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Municipal Code.
6. Maximum lot coverage for all lots within PDP2022-001 is 55% unless specifically approved through a residential site plan review or variance.
7. Maximum building (main structure) height shall not exceed thirty-five (35) feet.

8. Planned Development Permit PDP2022-001 standards for lots within TM6403 shall be as follows:

Lot Coverage:	55% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	8,000 square feet
Minimum Parcel Width:	70 feet
Minimum Front Yard Setback to Living Space:	10 feet
Minimum Front Yard Setback to Garage:	20 feet
Minimum Parcel Depth:	98 feet
Minimum Side Yard Setback on Garage Side:	5 feet
Minimum Side Yard Setback (opposite from garage):	5 feet
Minimum Rear Yard Setback:	<b>920</b> feet for <b>all</b> lots 2,3,4,5,10,11,12,13 20 feet for lots 1,6,7,8,9,14,15
Garages:	20'x20' interior dimension <b>(2-car)</b>

9. Landscape plans shall be reviewed and approved separately by the landscape review committee for tree and landscape type and location.
10. Prior to the submittal of civil plan review, the applicant shall submit a tree plan showing all existing trees with their variety. A tree removal/protection plan shall be reviewed and approved by the Director. Trees shall not be removed without approval from the Director.
11. All lighting shall be screened from direct view from the public right-of-way and adjacent residential properties.
12. All landscaping (open space and private yards) shall conform to the City of Clovis Water Efficient Landscape Ordinance.
13. The developer shall construct a minimum six-foot high solid masonry wall along both the Armstrong Avenue and Gettysburg Avenue frontage.
14. The applicant shall provide an all-weather surface for the placement and storage of trash receptacles.
15. This Project requires the submittal and approval of a residential site plan review entitlement for lot-specific development standards. Specific color and materials of the models, walls, amenities, landscaping, and fencing will be evaluated through the civil plans.



- LEGEND:**
- ⬆ INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
  - ➡ DIRECTION OF STORMWATER FLOW
  - ⚡ EXISTING POWER POLE TO BE REMOVED
  - ⚡ PUE PUBLIC UTILITY FACILITY NOW OFFERED FOR DEDICATION FOR PUBLIC USE
  - ⓐ INDICATES OUTLET LETTER

EXISTING BUILDINGS  
EXISTING BUILDINGS TO BE REMOVED

EXISTING TREES  
EXISTING TREES TO BE REMOVED

EXISTING USE  
LOW DENSITY RESIDENTIAL

PLANNED LAND USE  
LOW DENSITY RESIDENTIAL

PROPOSED USE  
LOW DENSITY RESIDENTIAL

EXISTING ZONING  
R-1-B

PROPOSED ZONING  
R-1-B

SOURCE OF WATER  
CITY OF CLOVIS

SOURCE OF SEWAGE DISPOSAL  
CITY OF CLOVIS

SOURCE OF WASTE DISPOSAL  
CITY OF CLOVIS

SOURCE OF ELECTRICITY  
PG&E

SOURCE OF DATA  
RECORD INFORMATION

SOURCE OF GAS  
PG&E

SOURCE OF CABLE T.V.  
COMCAST

SOURCE OF TELEPHONE  
AT&T

ASSESSOR'S PARCEL NUMBER  
552-117-15

SITE AREA  
4.45 AC. (GROSS)  
4.05 AC. (NET)

NUMBER OF LOTS  
15

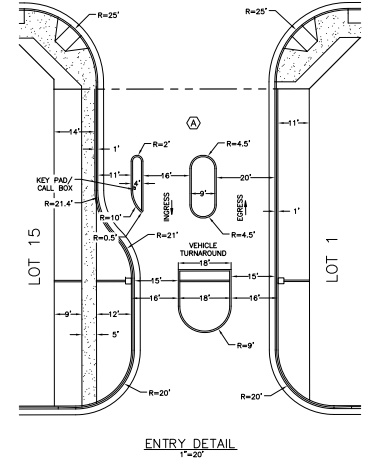
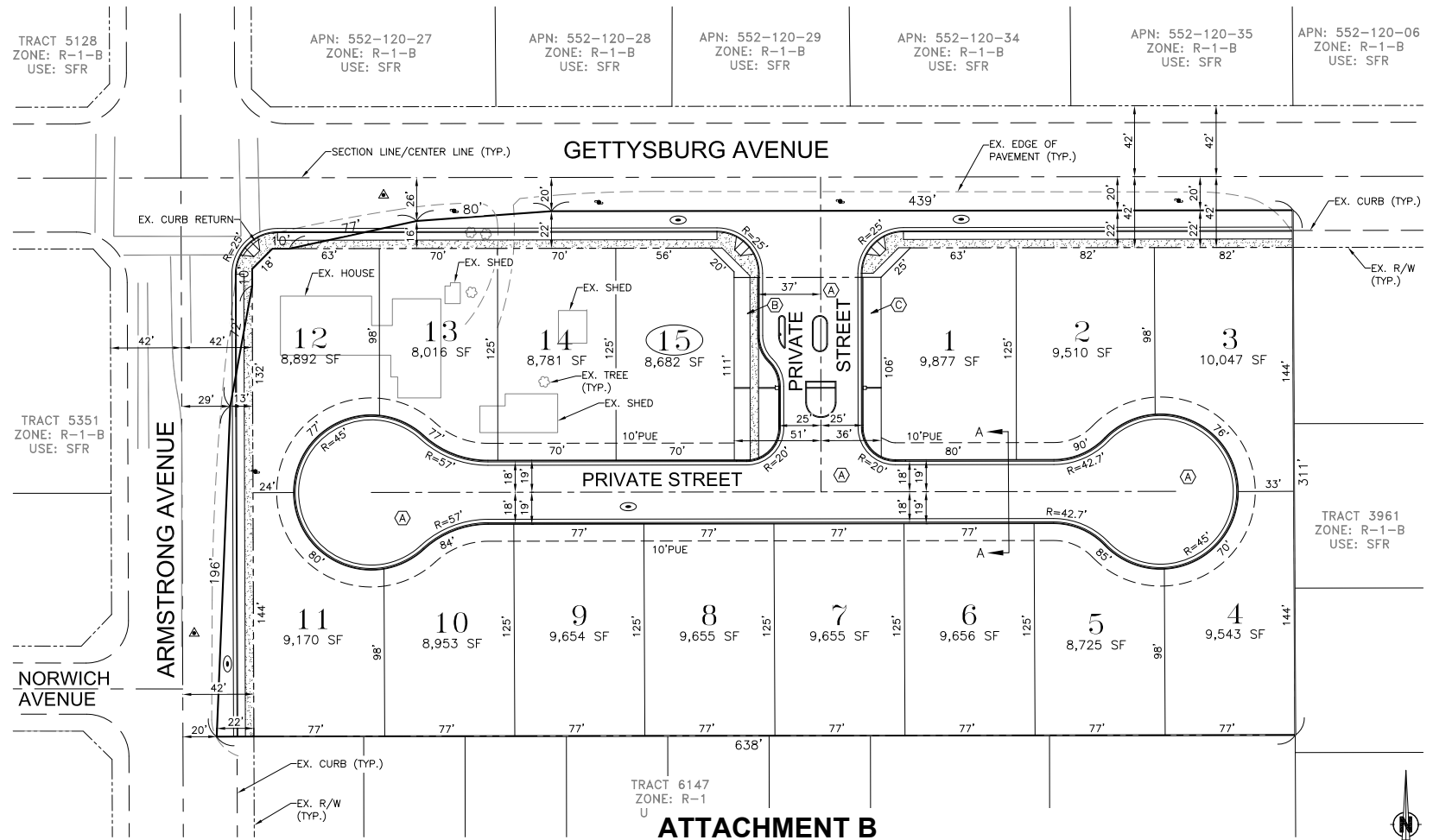
DENSITY  
3.70 UNITS PER ACRE

AVERAGE LOT SIZE  
9,254 SF

ADDRESS  
2843 ARMSTRONG AVENUE  
CLOVIS, CA 93611

OUTLET SCHEDULE  
OUTLET A IS FOR PRIVATE STREET & PUBLIC UTILITY PURPOSES.  
OUTLET B IS FOR PRIVATE STREET, PRIVATE LANDSCAPING & PUBLIC UTILITY PURPOSES.  
OUTLET C IS FOR PRIVATE LANDSCAPING & PUBLIC UTILITY PURPOSES.

VESTING  
TENTATIVE SUBDIVISION MAP  
OF  
**TRACT NO. 6403**  
A PLANNED DEVELOPMENT  
IN THE CITY OF CLOVIS  
FRESNO COUNTY, CALIFORNIA



**LEGAL DESCRIPTION:**

THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MOUNT Diablo BASE AND MERIDIAN, ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS.

EXCEPTING THEREFROM ANY PORTION THEREOF LYING SOUTH OF THE NORTH LINE OF TRACT NO. 6147 ACCORDING TO THE MAP THEREOF FILED FOR RECORD NOVEMBER 4, 2016 IN BOOK 86 OF PLATS, AT PAGES 44 AND 45, FRESNO COUNTY RECORDS.

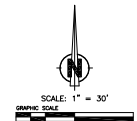
ALSO EXCEPTING THEREFROM ANY PORTION THEREOF LYING EAST OF THE WEST LINE OF TRACT NO. 3961, ADLEY ESTATES II, ACCORDING TO THE MAP THEREOF FILED FOR RECORD JULY 28, 1989 IN BOOK 49 OF PLATS, AT PAGES 3 AND 4, FRESNO COUNTY RECORDS.

AND ALSO EXCEPTING THEREFROM THAT PORTION AS CONVEYED TO THE CITY OF CLOVIS BY GRANT DEED RECORDED JUNE 28, 1998 AS DOCUMENT NO. 9805796, FRESNO COUNTY RECORDS.

- NOTES:**
1. THERE ARE NO EXISTING ABOVE GROUND USES OR STRUCTURES SUCH AS BUILDINGS, WATER WELLS, POWER LINES, TOWERS, ETC. WITHIN THE PROPOSED SUBDIVISION. (EXCEPT IF SHOWN).
  2. THE AREA IS WITHIN FLOOD ZONE X.
  3. THERE ARE NO EXISTING UNDERGROUND FEATURES SUCH AS WELLS, CESSPOOLS, SEWERS, CULVERTS, STORM DRAINS, DAMP SITES AND OTHER UNDERGROUND STRUCTURES WITHIN THE PROPOSED SUBDIVISION. (EXCEPT IF SHOWN).
  4. THE DESIGN OF THE PROPOSED SUBDIVISION PROVIDES AS MUCH AS FEASIBLE FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NONRENEWABLE ENERGY RESOURCES AS PROVIDED IN THE SUBDIVISION MAP ACT. THE USE OF THE LOTS ARE ORIENTED NORTH AND SOUTH.
  5. ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF CLOVIS TO CITY STANDARDS, AND SHALL INCLUDE SANITARY SEWER, DOMESTIC WATER, UNDERGROUND POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, SIDEWALKS, PERMANENT STREET PAVING, STREET LIGHTS, ETC. ON CITY STREETS WILL BE PRIVATE AND AS APPROVED BY THE CITY OF FRESNO.
  6. GRACE DIFFERENCES OF 4" OR MORE DO NOT CURRENTLY EXIST ACROSS PROPERTY LINES AND WILL NOT EXIST AFTER DEVELOPMENT OF PROJECT DRAINAGE.

City of Clovis

**ATTACHMENT B**



TENTATIVE SUBDIVISION MAP

OWNER & SUBDIVIDER  
GlenEagles Homes, A California

198

Harbour & Associates  
Civil Engineers  
300 Clifton Avenue, Suite 300 • Clovis, California 93612  
(505) 325-7078 • Fax (505) 325-7088 • info@harbourandassociates.com

DATE: 3-4-22 SCALE: 1"=30' DRAWN BY: SDH

1 OF 1

**AGENDA ITEM NO. 21.**



All drawings and written material opposing herein constitute original and unpublished work of the Architect and may not be reproduced without written consent of the Architect.

Project Number:  
2726 Tracts 653, 6236, 6275

Plot Date: 4/3/2020

Symbol	Date	Comments	By
▲			
▲			
▲			

**GlenEagles Homes**  
Standard Plan 2726 Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

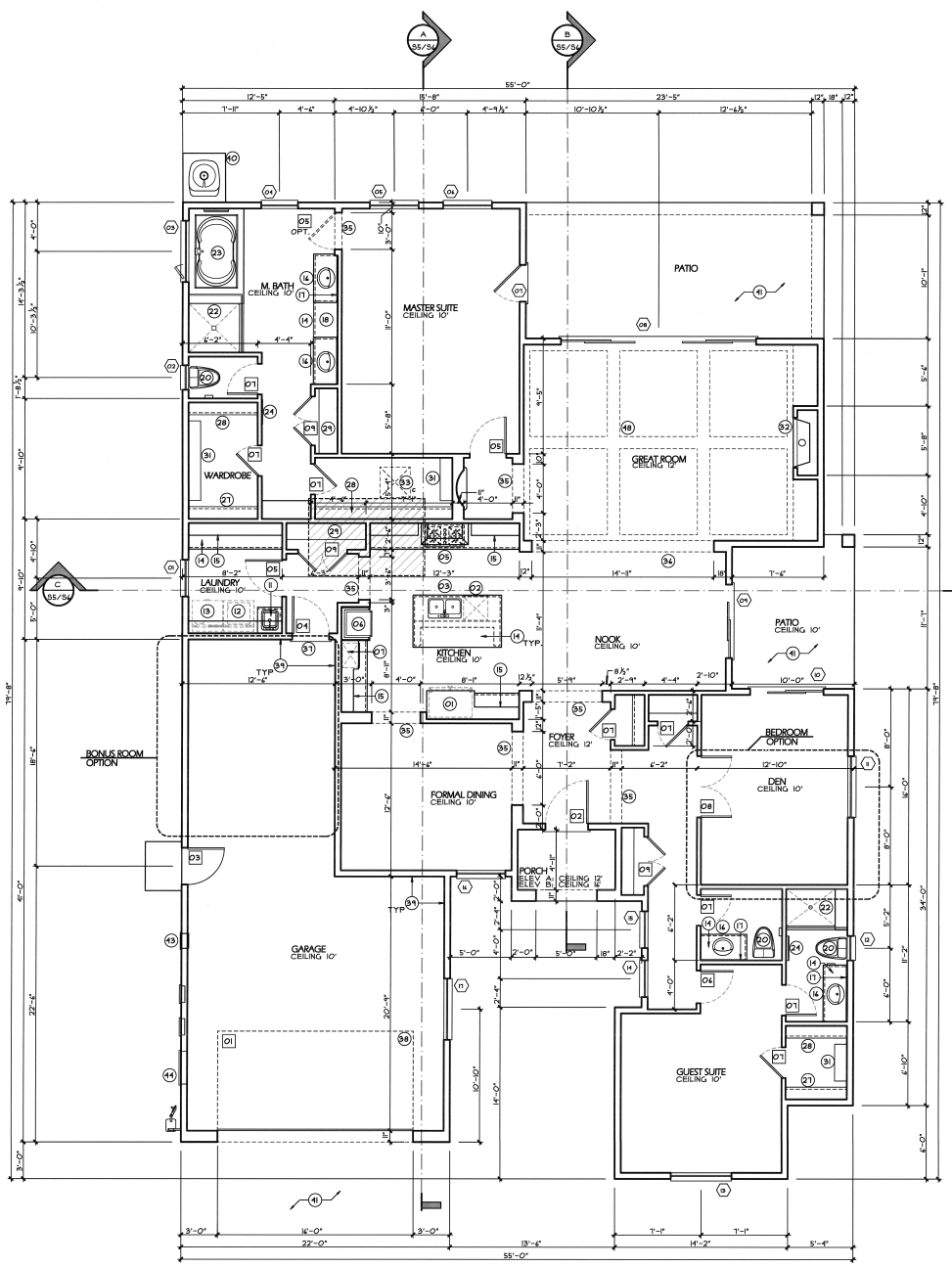
APPROVAL STAMPS

STANDARD PLAN  
CITY OF MIAMI DEVELOPMENT DEPT.  
# 20 232  
JUN 3 0 2020 PM

REVIEWED  
JUN 17 2020  
INTEREST CONSULTING GROUP

**A1**  
Sheet Number

- FLOOR KEYNOTES**
- 01 REFRIGERATOR (N/C) - PROVIDE COLD WATER STUD
  - 02 DISHWASHER
  - 03 REVERSE SIDE RINK
  - 04 VEGETABLE SINK
  - 05 ELECTRIC COOKTOP w/ 5 BURNERS
  - 06 DOUBLE OVEN (N/C) - PROVIDE GAS VENT TO PER 304 USC SECTION 603.4
  - 07 BUILT-IN REFRIGERATOR
  - 08 UNDER CABINET REFRIGERATOR
  - 09 UNDER CABINET ICE MAKER
  - 10 SINK
  - 11 LAUNDRY SINK
  - 12 WASHER (N/C)
  - 13 DRYER (N/C) - PLUMB FOR OPTIONAL GAS VENT TO PER 304 USC SECTION 603.4
  - 14 COUNTER TOP - ORDER TO SELECT FINISH
  - 15 BUILT-IN SINK
  - 16 LINE OF UPPER CABINET
  - 17 LAVATORY w/ TANK TOP BATH w/ 1.5 GAL. MIN. HOT WATER
  - 18 VANITY MIRROR
  - 19 VANITY COUNTER w/ KNEE SPACE BELOW
  - 20 1/2" HIGH COUNTER
  - 21 TUBILE w/ 1/2" HIGH COUNTER w/ 1.5 GAL. MIN. HOT WATER
  - 22 SHOWER CURTAIN w/ ROD
  - 23 SHOWER GLASS
  - 24 SHOWER GLASS
  - 25 SHOWER GLASS
  - 26 SHOWER GLASS
  - 27 SHOWER GLASS
  - 28 SHOWER GLASS
  - 29 SHOWER GLASS
  - 30 SHOWER GLASS
  - 31 SHOWER GLASS
  - 32 SHOWER GLASS
  - 33 SHOWER GLASS
  - 34 SHOWER GLASS
  - 35 SHOWER GLASS
  - 36 SHOWER GLASS
  - 37 SHOWER GLASS
  - 38 SHOWER GLASS
  - 39 SHOWER GLASS
  - 40 SHOWER GLASS
  - 41 SHOWER GLASS
  - 42 SHOWER GLASS
  - 43 SHOWER GLASS
  - 44 SHOWER GLASS
  - 45 SHOWER GLASS
  - 46 SHOWER GLASS
  - 47 SHOWER GLASS
  - 48 SHOWER GLASS
  - 49 SHOWER GLASS
  - 50 SHOWER GLASS
  - 51 SHOWER GLASS
  - 52 SHOWER GLASS
  - 53 SHOWER GLASS
  - 54 SHOWER GLASS
  - 55 SHOWER GLASS
  - 56 SHOWER GLASS
  - 57 SHOWER GLASS
  - 58 SHOWER GLASS
  - 59 SHOWER GLASS
  - 60 SHOWER GLASS
  - 61 SHOWER GLASS
  - 62 SHOWER GLASS
  - 63 SHOWER GLASS
  - 64 SHOWER GLASS
  - 65 SHOWER GLASS
  - 66 SHOWER GLASS
  - 67 SHOWER GLASS
  - 68 SHOWER GLASS
  - 69 SHOWER GLASS
  - 70 SHOWER GLASS
  - 71 SHOWER GLASS
  - 72 SHOWER GLASS
  - 73 SHOWER GLASS
  - 74 SHOWER GLASS
  - 75 SHOWER GLASS
  - 76 SHOWER GLASS
  - 77 SHOWER GLASS
  - 78 SHOWER GLASS
  - 79 SHOWER GLASS
  - 80 SHOWER GLASS
  - 81 SHOWER GLASS
  - 82 SHOWER GLASS
  - 83 SHOWER GLASS
  - 84 SHOWER GLASS
  - 85 SHOWER GLASS
  - 86 SHOWER GLASS
  - 87 SHOWER GLASS
  - 88 SHOWER GLASS
  - 89 SHOWER GLASS
  - 90 SHOWER GLASS
  - 91 SHOWER GLASS
  - 92 SHOWER GLASS
  - 93 SHOWER GLASS
  - 94 SHOWER GLASS
  - 95 SHOWER GLASS
  - 96 SHOWER GLASS
  - 97 SHOWER GLASS
  - 98 SHOWER GLASS
  - 99 SHOWER GLASS
  - 100 SHOWER GLASS



**WINDOW SCHEDULE**

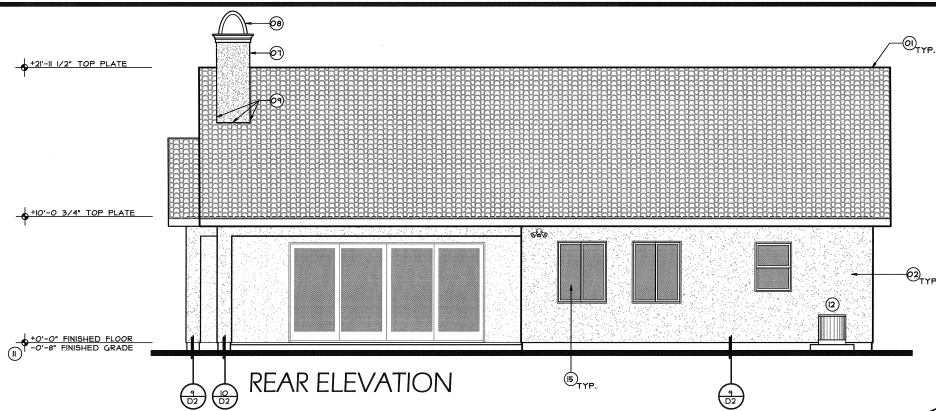
NUMBER	LOCATION	CODE/SIZE	RO WIDTH	RO HEIGHT
01	LAUNDRY	SH3040	34"	48"
02	MASTER BATH	SH2030	24"	34"
03	MASTER BATH	#SH3030	40"	40"
04	MASTER BATH	#SH3040	34"	48"
05	MASTER SUITE	G4050	48"	40"
06	MASTER SUITE	G4050	48"	40"
07	MASTER SUITE	#SH3030	37"	44"
08	GREAT ROOM	#SH3030	37"	44"
09	NOOK	#SH3030	12"	44"
10	DEN / BEDROOM OPT	#SH3030	12"	44"
11	DEN / BEDROOM OPT	G5050	40"	40"
12	GUEST BATH	SH2030	24"	34"
13	GUEST SUITE	G5050	40"	40"
14	HALL	SH3050	34"	40"
15	HALL	SH3050	34"	40"
16	FORMAL DINING	G4050	48"	40"
17	GARAGE	G5050	40"	40"
18	BONUS ROOM OPTION	G5050	40"	40"
ALL WINDOWS ARE DUAL PANE, **TEHP U-VALUE SHGC				
SH	SINGLE HUNG		.31	.32
G	GLIDING		.31	.32
C	CASEMENT		.29	.28
A	AWNING		.24	.28
FR	FIXED RECTANGLE		.24	.33
FAT	FIXED ARCH TOP		.24	.33
FRH	FRENCHWOOD GLIDING		.31	.32
FHR	FRENCHWOOD HINGE		.31	.32
SL	SPRINGLINE (FIXED)		.31	.32

**DOOR SCHEDULE**

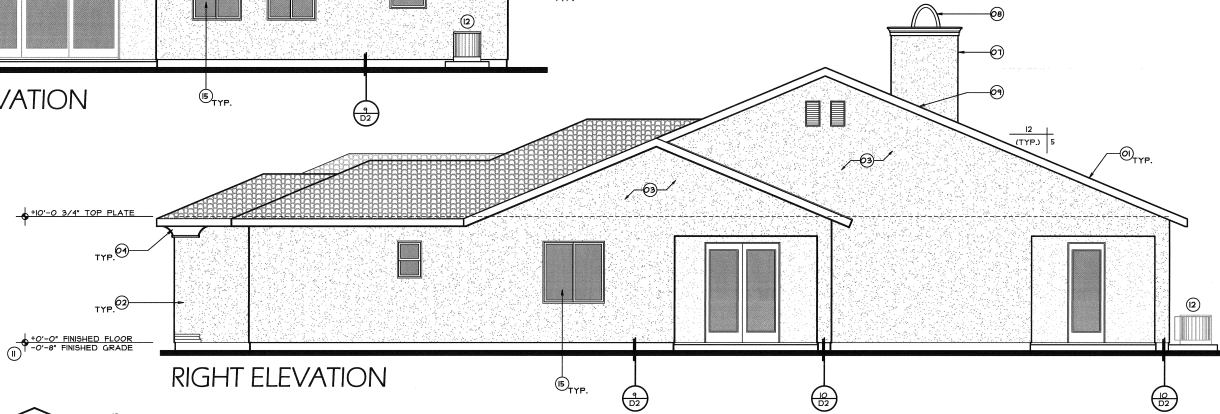
SYMBOL	QTY	DIMENSIONS	TYP	REMARKS	
01	01	4080	ALUM	N/A	ROLL-UP GARAGE DOOR
02	01	3460	S.C.	N/A	1 3/8" THK. EXTERIOR
03	01	3080	S.C.	N/A	1 3/8" THK. EXTERIOR
04	01	3080	S.C.	1 HR.	1 3/8" THK. EXT. w/ SELF CLOSE
05	03	3080	H.C.	N/A	1 3/8" THK. INTERIOR
06	01	2880	H.C.	N/A	1 3/8" THK. INTERIOR
07	08	2480	H.C.	N/A	1 3/8" THK. INTERIOR
08	01	2480	H.C.	N/A	1 3/8" THK. INTERIOR
09	03	2080	H.C.	N/A	1 3/8" THK. INTERIOR
10	01	2080	H.C.	N/A	1 3/8" THK. INTERIOR

**ATTACHMENT 3**

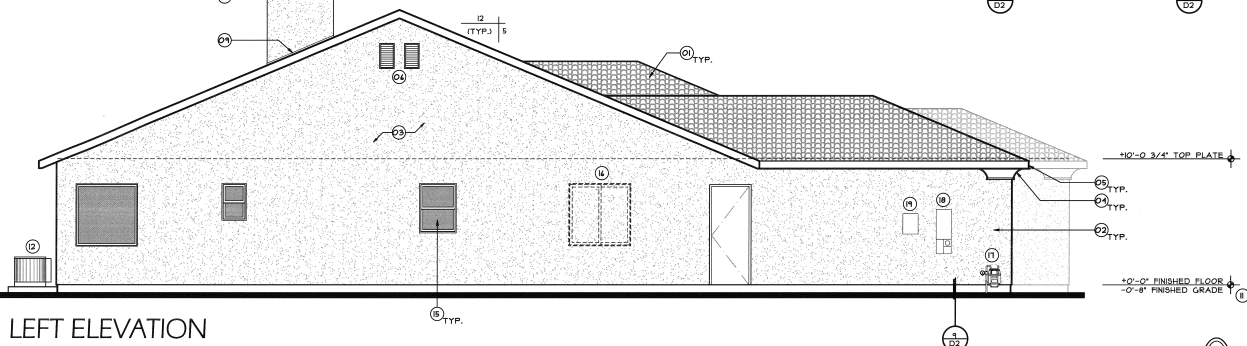
**FLOOR PLAN 2726 SQ.FT.**  
SCALE 1/4"=1'-0"



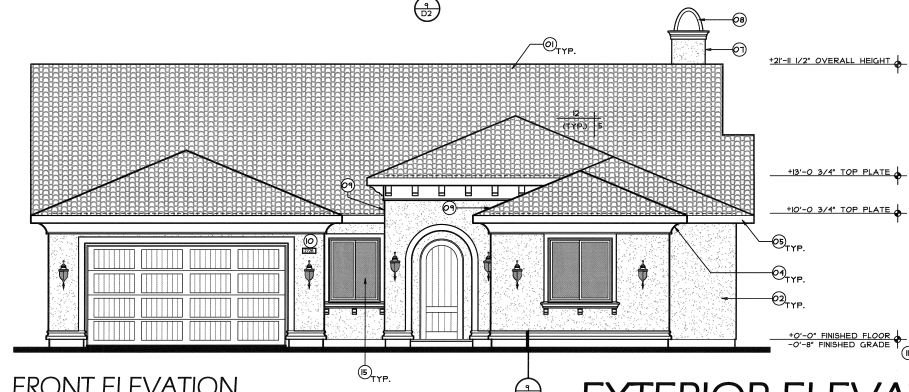
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

EXTERIOR ELEVATIONS A

SCALE 1/4"=1'-0"

- ELEVATION KEYNOTES**
- 01 EAGLE COP. ROOF TILE RES-100 OR APPROVED EQUAL SHALL BE USED WITH 1/2" COP. FLASHING AT ROOF EDGES AND AT ALL PENETRATIONS.
  - 02 ONE-KOTE STAIN-KOTE EXTERIOR FINISH SHALL BE APPLIED TO ALL EXTERIOR WALLS AND CEILING.
  - 03 PROVIDE THERMAL BARRIER PROTECTION DOOR AND WINDOW FLASHING SHALL BE APPLIED TO ALL EXTERIOR PENETRATIONS.
  - 04 DECORATIVE STUCCO W/ FOAM (TYP) INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 05 2x6 HERLOCK PASCIA OR BARAGE RAFTER TYP.
  - 06 GABLE END VENT. REFER TO ROOF PLANING PLAN.
  - 07 ROOF FINISHED FUSE CHASE SEE DETAILS V03 I.
  - 08 PAINTED DECORATIVE SHEET METAL FLUE CAP.
  - 09 21 SHEET METAL FLASHING AND COUNTER FLASHING AND FINISH CHIMNEY WITH 1/2" SECTION.
  - 10 ILLUMINATED ADDRESS LOCATION.
  - 11 FINISHED GRADE. SLOPE AWAY FROM BUILDING.
  - 12 GROUND ROOSTED CONDENSER. SEE MECHANICAL PLAN.
  - 13 OPTIONAL MANUFACTURED STONE VENEER. APPLIED TO PORTION OF EXTERIOR WALLS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR DETAILS AND INSTALLATION. REFER TO PLAN FOR VENEER AREA.
  - 14 2x6 HERLOCK PASCIA OR BARAGE RAFTER TYP. REFER TO ROOF PLANING PLAN.
  - 15 FULL HEIGHT VENEER. RETURN 2'-0" UNDO.
  - 16 ALL ENDGOS TO BE DUAL GLAZED W/ FINISH PER OWNER.
  - 17 OPTIONAL BONUS ROOF WINDOW.
  - 18 GAS RETEN.
  - 19 ELECTRICAL PANEL.
  - 20 SOLAR SYSTEM INVERTERS AND WETERING.

Eddie L. Caldera  
Architect

AGENDA ITEM NO. 21.



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number:  
2124 Tracts 653, 6298, 6275

Plot Date: 6/3/2020

Symbol	Date	REVISIONS	Comments	By
▲				
▲				
▲				

**GlenEagles Homes**  
Standard Plan 2726 Tracts 6153, 6298, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

STANDARD PLAN  
CITY OF FREMONT DEVELOPMENT DEPT.  
# 20 232  
JUN 30 2020 BY

REVIEWED  
JUN 17 2020  
INTERWEST  
CONSULTING GROUP

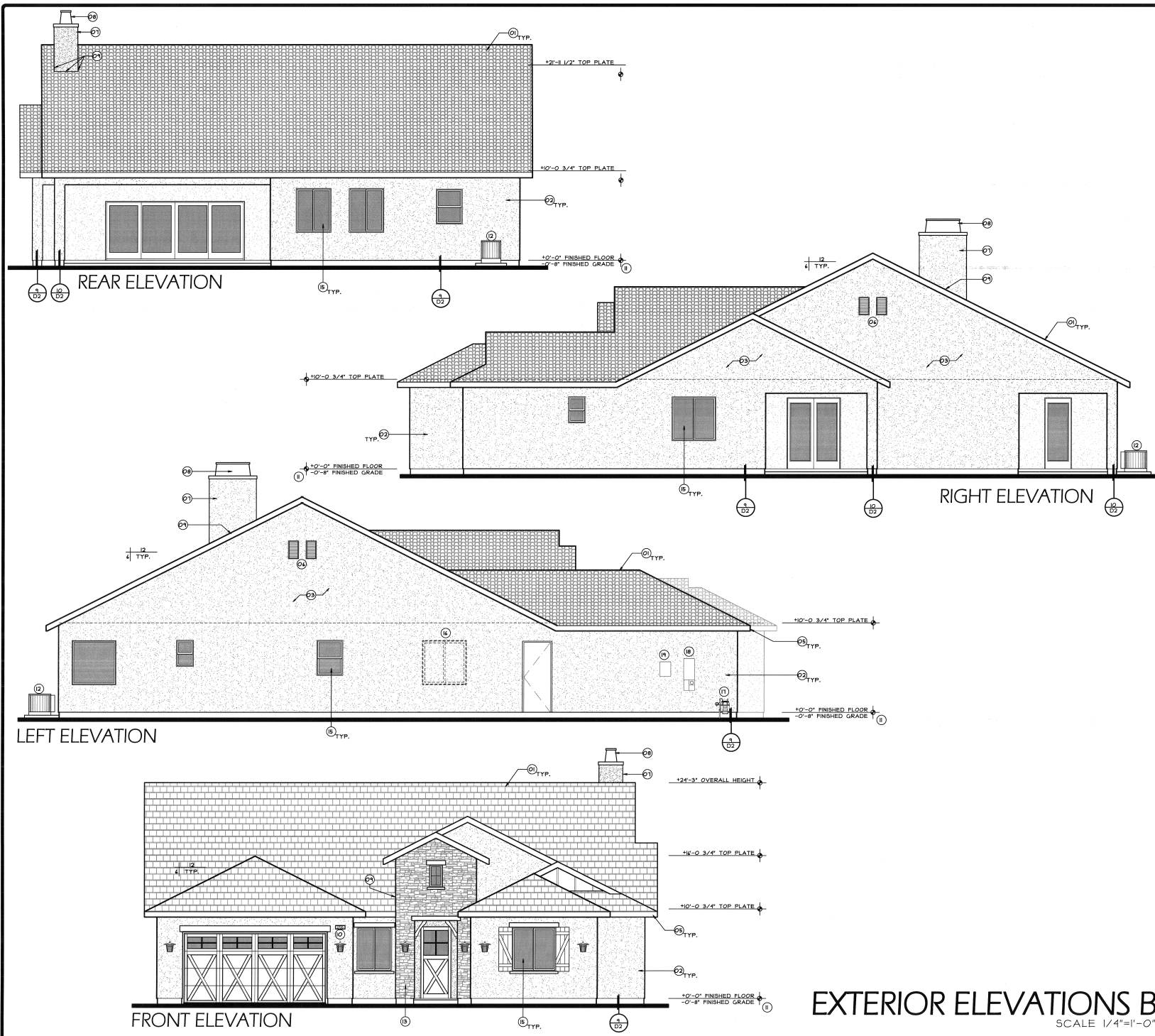
A2

Sheet Number

ELEVATION NOTES

1. SEE DETAIL 2/3 FOR DOOR AND WINDOW FLASHING.





**ELEVATION KEYNOTES**

- 01 EAGLE CORK ROOF INSULATION IS REQUIRED TO BE 10" THICK. THIS IS TO BE INSTALLED OVER ALL ROOF SURFACES AND SHALL BE CONTINUED TO THE INTERIORS OF ALL ROOF DECKS.
- 02 ONE (1) SHIRT TAIL VENT SHALL BE PROVIDED FOR EACH ROOF CHASE. THIS SHALL BE INSTALLED AT THE TOP OF EACH ROOF CHASE AND SHALL BE PROTECTED BY A 1/2" THICK SHEET METAL FLUE CAP.
- 03 PROVIDE THERMAL BARRIER PROTECTION OVER THE INSULATION. THIS SHALL BE INSTALLED OVER ALL ROOF SURFACES AND SHALL BE PROTECTED BY A 1/2" THICK SHEET METAL FLUE CAP.
- 04 DECORATIVE STUCCO OR FOAM (TYP) INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 05 2x6 HERRLOCK FASCIA OR BARAGE RAFTER TYP.
- 06 GARBLE END VENT. REFER TO ROOF FRAMING PLAN OF BOSS' MARKED FUE CHASE. SEE DETAILS 4/01-4/03
- 07 PAINTED DECORATIVE SHEET METAL FLUE CAP
- 08 2x6 SHEET METAL FLASHING AND COUNTER FLASHING AS SHOWN. JOIN TO 1/2" SECTION
- 09 ILLUMINATED ADDRESS LOCATION
- 10 FINISHED GRADE. SLOPE AWAY FROM BUILDING
- 11 GROUND MOUNTED CONDENSER. SEE MECHANICAL PLAN
- 12 OPTIONAL MANUFACTURED STONE VENER. REFER TO SUPPLIER'S LITERATURE FOR SPECIFICATIONS. THIS SHALL BE INSTALLED OVER ALL EXTERIOR WALL SURFACES AND SHALL BE PROTECTED BY A 1/2" THICK SHEET METAL FLUE CAP.
- 13 ALL WINDOWS TO BE DUAL GLAZED 1/2" FINISH PER
- 14 OPTIONAL BONUS ROOM WINDOW
- 15 GAS RETIEF
- 16 ELECTRICAL PANEL
- 17 SOLAR SYSTEM INVERTERS AND WETERING

Eddie J. Caldera  
Architect

**AGENDA ITEM NO. 21.**



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 2724 Tracts 653, 6238, 6275  
 Plot Date: 6/5/2020

Symbol	Date	Comments	By
△			
△			
△			

**GlenEagles Homes**  
 Standard Plan 2726 Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

**APPROVAL STAMPS**

STANDARD PLAN  
 CITY OF INTEREST DEVELOPMENT DEPT.  
 #20 232  
 JUN 8 9 2020 BY

REVIEWED  
 JUN 17 2020  
 INTERWEST CONSULTING GROUP

**A3**  
 Sheet Number

**EXTERIOR ELEVATIONS B**  
 SCALE 1/4"=1'-0"

**ELEVATION NOTES**  
 1. SEE DETAIL 2/01 FOR DOOR AND WINDOW FLASHING.





All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number:  
2124 Tracts 653, 6298, 6275

Plot Date: 6/3/2020

Symbol	Date	REVISIONS	Comments	By
▲				
▲				
▲				

# GlenEagles Homes

Standard Plan 2726 Tracts 6153, 6298, 6275

*A Tradition Like No Other*

APPROVAL STAMPS

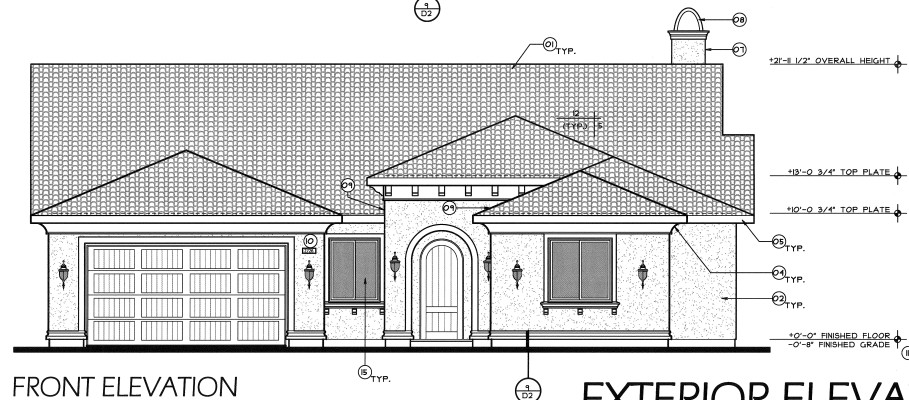
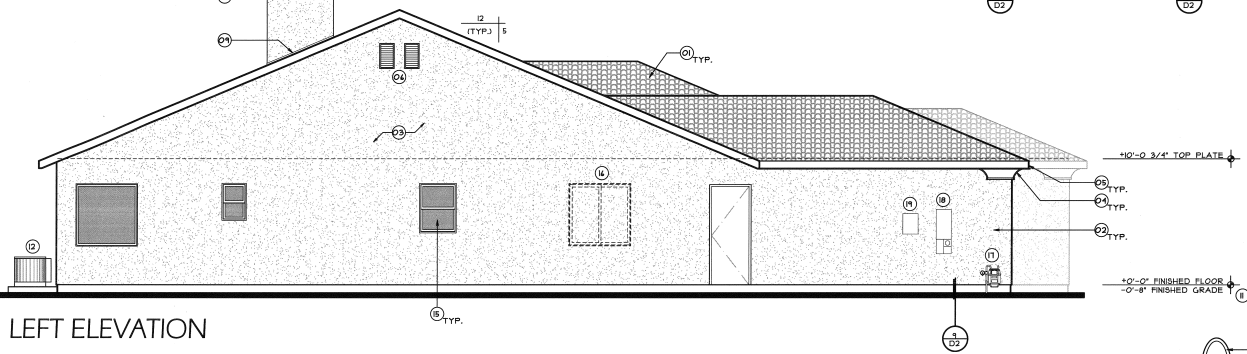
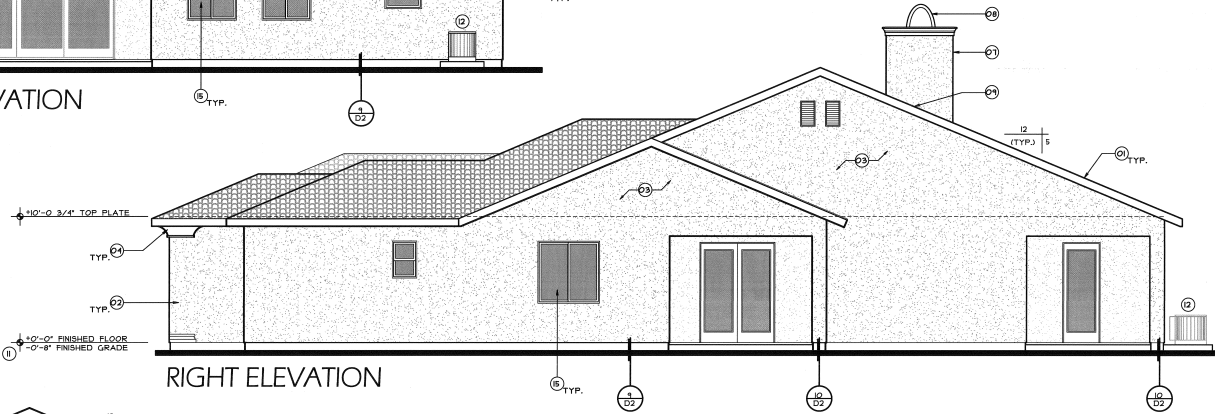
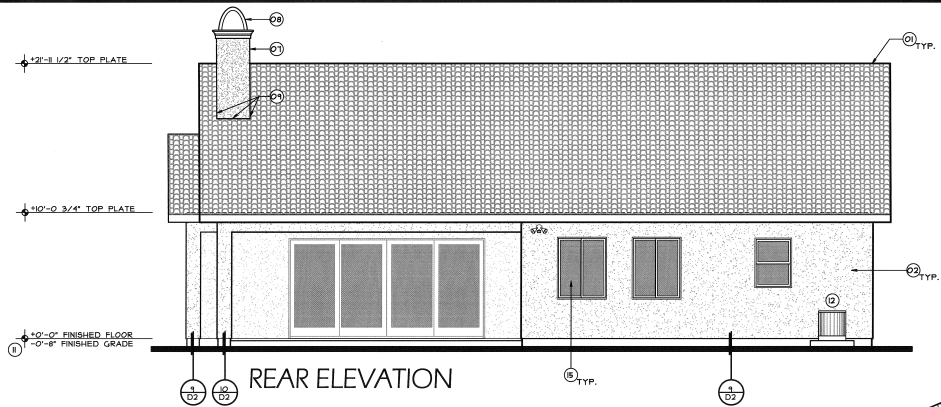
STANDARD PLAN  
CITY OF FREMONT DEVELOPMENT DEPT.  
# 20 232  
JUN 9 0 2020 BY

REVIEWED  
JUN 17 2020  
INTERWEST  
CONSULTING GROUP

**A2**

Sheet Number

- ELEVATION KEYNOTES**
- 01 EAGLE CUP. ROOF TILE RES-TOP OR APPROVED EQUAL. SEE DETAIL 2/3 FOR DOOR AND WINDOW FLASHING.
  - 02 ONE-KOTE STAIN-KOTE (TYP.) FINISH PER MANUFACTURER'S SPECIFICATIONS.
  - 03 PROVIDE THERMAL BARRIER PROTECTION DOOR. SEE DETAIL 2/3 FOR DOOR FLASHING AND EQUAL. SEE DETAIL 2/3 FOR WINDOW FLASHING AND EQUAL. SEE DETAIL 2/3 FOR WINDOW FLASHING.
  - 04 DECORATIVE STUCCO w/ FOAM (TYP.) INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 05 2x6 HERLOCK PASCIA OR BARAGE RAFTER TYP.
  - 06 GABLE END VENT. REFER TO ROOF FRAMING PLAN.
  - 07 800P PAINTED FLUE CHASE. SEE DETAIL 1/3-1.
  - 08 PAINTED DECORATIVE SHEET METAL FLUE CAP.
  - 09 21 GUSSET METAL FLASHING AND COUNTER FLASHING. SEE DETAIL 2/3 FOR WINDOW FLASHING.
  - 10 ILLUMINATED ADDRESS LOCATION.
  - 11 FINISHED GRADE. SLOPE AWAY FROM BUILDING.
  - 12 GROUND ROOFED CONDENSER. SEE MECHANICAL PLAN.
  - 13 OPTIONAL MANUFACTURED STONE VESSEL. SEE DETAIL 2/3 FOR VESSEL DETAIL. SEE DETAIL 2/3 FOR VESSEL DETAIL. SEE DETAIL 2/3 FOR VESSEL DETAIL.
  - 14 FULL HEIGHT VESSEL. RETURN 2'-0" UNLO.
  - 15 ALL ENDGOS TO BE DUAL GLAZED w/ FINISH PER OWNER.
  - 16 OPTIONAL BONUS ROOF WINDOW.
  - 17 GAS RETEN.
  - 18 ELECTRICAL PANEL.
  - 19 SOLAR SYSTEM INVERTERS AND WETERING.

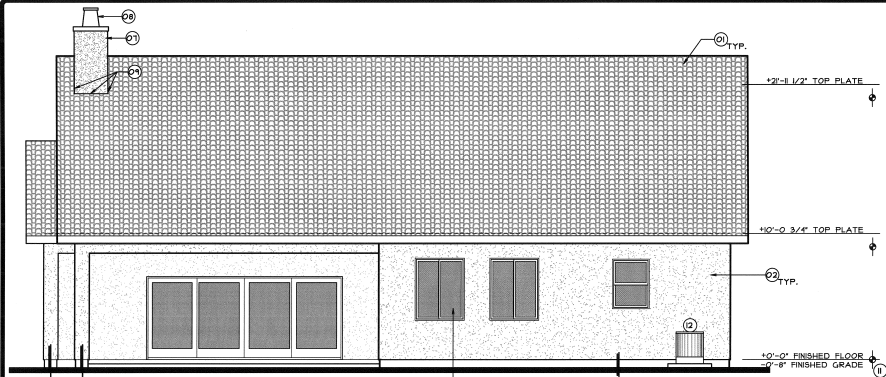


## EXTERIOR ELEVATIONS A

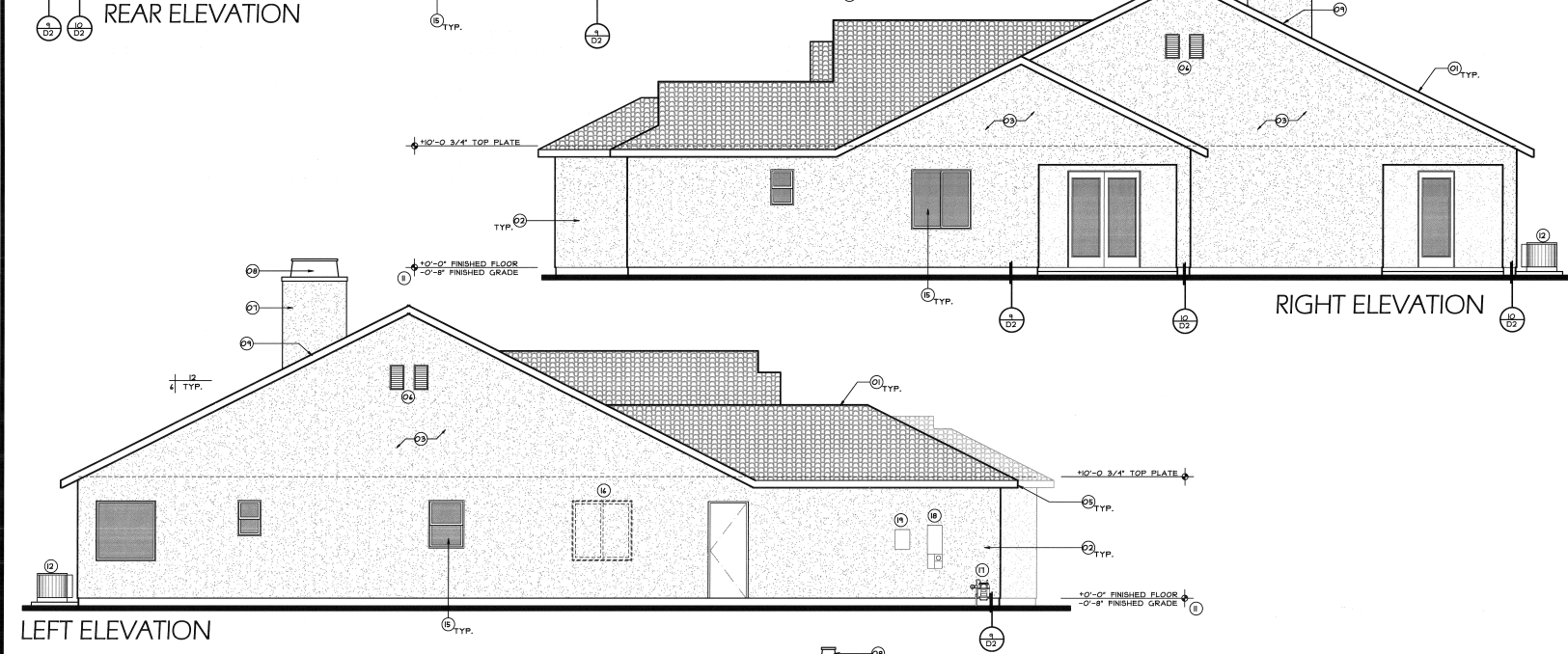
SCALE 1/4"=1'-0"

ELEVATION NOTES

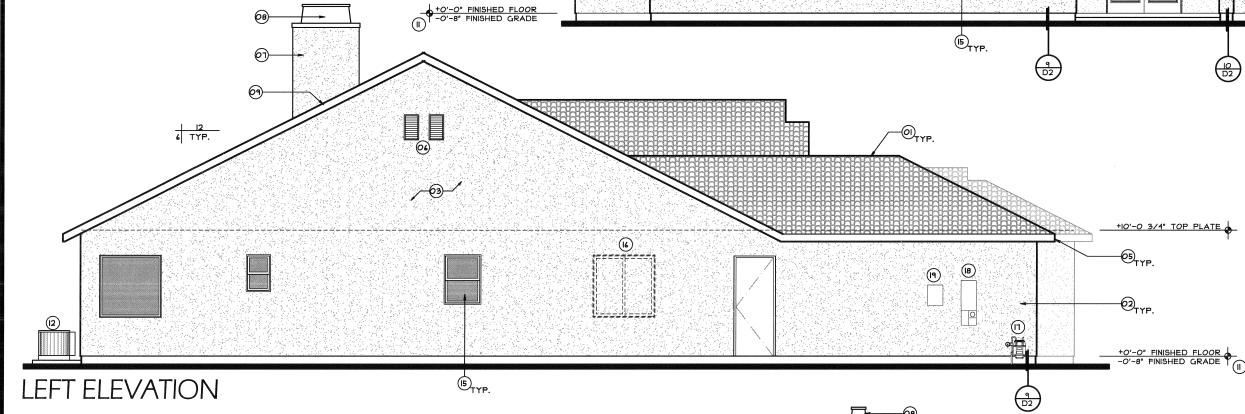
1. SEE DETAIL 2/3 FOR DOOR AND WINDOW FLASHING.



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

EXTERIOR ELEVATIONS B  
SCALE 1/4"=1'-0"

- ELEVATION KEYNOTES**
- 01 EAGLE COWL ROOF IN E REAR TOP OR APPROVED EQUAL OR BETTER. PROVIDE 2" RADIUS FLARE. PROVIDE 1/2" MIN. THICK POLYURETHANE FOAM INSULATION AND SHIELD TO SURFACE OF INS OR
  - 02 ONE-SIDE FLASHING TO BE PROVIDED AT ALL ROOF PENETRATIONS. PROVIDE 2" RADIUS FLARE. PROVIDE 1/2" MIN. THICK POLYURETHANE FOAM INSULATION AND SHIELD TO SURFACE OF INS OR
  - 03 PROVIDE THERMAL BARRIER PROTECTION OVER THERMAL BREAK. PROVIDE 2" RADIUS FLARE. PROVIDE 1/2" MIN. THICK POLYURETHANE FOAM INSULATION AND SHIELD TO SURFACE OF INS OR
  - 04 DECORATIVE STUCCO OR FOAM (TYP) INSTALL PER MANUFACTURER'S SPECIFICATIONS
  - 05 2x6 HERRLOCK FASCIA OR BARAGE RAFTER TYP.
  - 06 GABLE END VENT. REFER TO ROOF FRAMING PLAN
  - 07 BOSS NAILED FLUE CHASE. SEE DETAILS 4/01-1
  - 08 PAINTED DECORATIVE SHEET METAL FLUE CAP
  - 09 2x6 SHEET METAL FLASHING AND CORNER FLASHING AS SHOWN. JOINTS IN 1" SECTION
  - 10 ILLUMINATED ADDRESS LOCATION
  - 11 FINISHED GRADE. SLOPE AWAY FROM BUILDING
  - 12 GROUND MOUNTED CONDENSER. SEE MECHANICAL PLAN
  - 13 OPTIONAL MANUFACTURED STONE VENEER. PROVIDE 1/2" MIN. THICK POLYURETHANE FOAM INSULATION AND SHIELD TO SURFACE OF INS OR
  - 14 OPTIONAL GABLE END VENT. REFER TO ROOF FRAMING PLAN
  - 15 OPTIONAL GABLE END VENT. REFER TO ROOF FRAMING PLAN
  - 16 OPTIONAL GABLE END VENT. REFER TO ROOF FRAMING PLAN
  - 17 OPTIONAL GABLE END VENT. REFER TO ROOF FRAMING PLAN
  - 18 OPTIONAL GABLE END VENT. REFER TO ROOF FRAMING PLAN
  - 19 OPTIONAL GABLE END VENT. REFER TO ROOF FRAMING PLAN
  - 20 FULL HEIGHT VENEER. RETURN 2'-0" UNLO.
  - 21 ALL WINDOWS TO BE DUAL GLAZED w/ FINISH PER
  - 22 GAS RETEN
  - 23 ELECTRICAL PANEL
  - 24 SOLAR SYSTEM INVERTERS AND WIRING

Eddie J. Caldera  
Architect

AGENDA ITEM NO. 21.



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 2724 Tracts 653, 6238, 6275  
Net Date: 6/3/2020

Symbol	Date	Comments	By
△			
△			
△			
△			

**GlenEagles Homes**  
Standard Plan 2726 Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

STANDARD PLAN  
CITY OF INTEREST DEVELOPMENT DEPT.  
# 2 0 2 3 2  
JUN 3 0 2020 BY

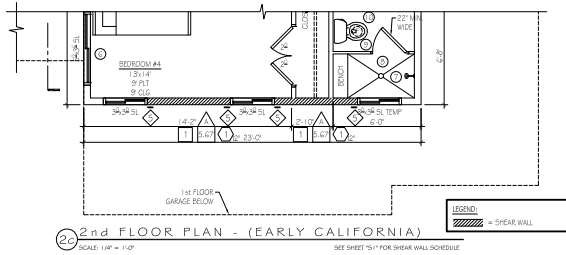
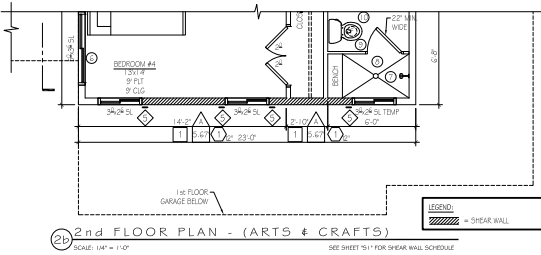
REVIEWED  
JUN 17 2020  
INTEREST CONSULTING GROUP

A3

Sheet Number

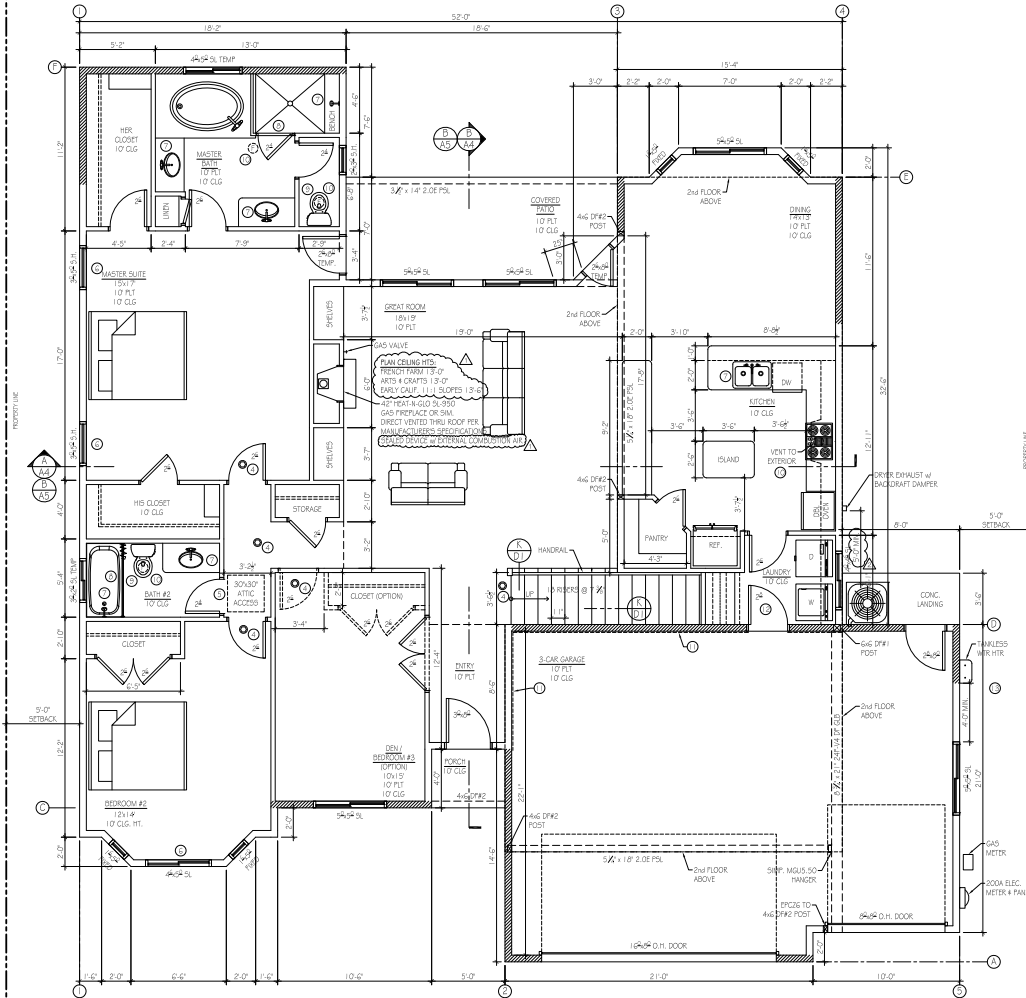
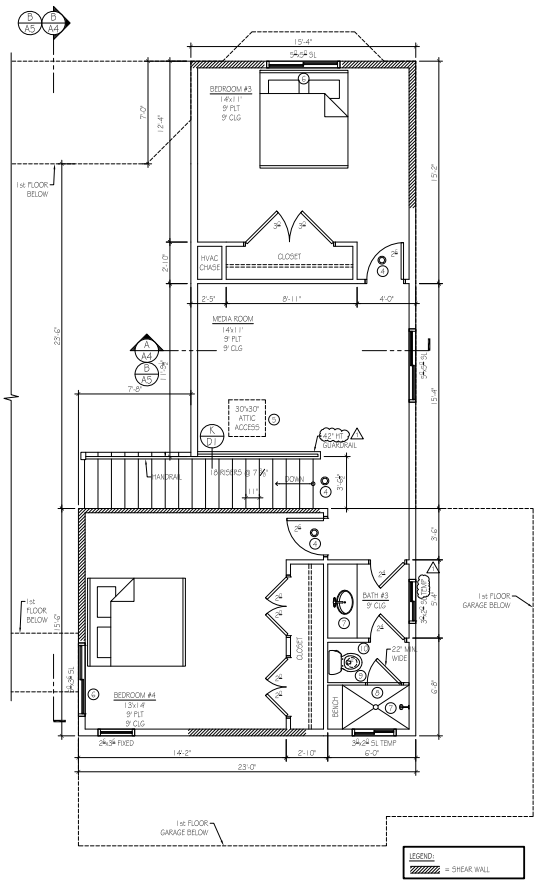
ELEVATION NOTES  
1. SEE DETAIL 2/03 FOR DOOR AND WINDOW FLASHING.

The contractor shall verify all dimensions and conditions at the site and shall notify the Designer of any discrepancies between the actual conditions and information shown on the drawings before proceeding with the work. The contractor shall immediately notify the Designer of any condition in which, in its opinion, might endanger the stability of the structure or cause distress to the structure.



**WINDOW VALUES:**

U-FACTOR: 0.32  
SHGC: 0.25



**GENERAL NOTES:**

- Soil Bearing: 2,000 PSF.
- Concrete: 3,000 PSI in 28 days.
- Rebar: grade #4.
- Anchor Bolts: 1/2" dia. (with 7" embedment) wedge anchors concrete (C-108).
- Interior Partitions: Shotcrete 5/8" x 2.875" length w/ washer @ 36" O.C. max and 6' from end, Rammed ICC-ESR #1799.
- Lumber: (unless noted otherwise) Beams & Posts: Douglas Fir #1 Studs & Plates: Douglas Fir #2 Pressure treated plates in contact with concrete.
- Nailing per CBC Table 602.3 "Fastening Schedule".
- Cutting, nailing, & bolting per CBC 2306.
- Provide chemical leak during construction.

**AGENDA ITEM NO. 21.**

**PREPARED BY**  
W W ENTERPRISES  
P.O. BOX 9339  
FRESNO, CA 93747  
Tel (559) 288-9414 Fax (559) 272-9435  
www.enterprises@earthlink.net

**KEY NOTES**

○ Circle with number refers to notes below:

- CLASS 1" CONC. TILE EAGLE ROOFING ON 30# FLAT ON 7/16" OSB SHEATHING (24/16), COX EXT, GRADE IN EXPOSED AREAS. 1/8" GAP ALL EDGES METAL FLASHING AT EAVES, SHEATHING NAILING 8d @ 6" O.C. EN, BN & 8d @ 12" O.C. FIN. MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING, PROVIDE #4 Baffles.
- NOT USED.
- NOT USED.
- SMOKE DETECTOR / CARBON MONOXIDE COMBO ALARM 110V (W/HD WIRED) w/ BATTERY BACK UP. MIN. OF 2" HORIZONTALLY FROM COOKING APPLIANCE & MIN. 3" FROM SUPPLY REGISTERS & MEASURED FROM THE BLADE TIP OF CEILING FANS, MODEL AND MANUFACTURER APPROVED BY STATE FIRE MARSHAL.
- ATTIC ACCESS 30" x 30" w/ 30" HEADROOM MIN. GASKETED TO PREVENT AIR LEAKAGE AND INSULATED EQUI. TO CEILING SECURED TO ACCESS PANEL w/ ADHESIVE OR MECHANICAL FASTENERS.
- EXT WINDOW: NET WIDTH 20", HEIGHT 24", OPENABLE AREA 5.7 SQ. FT. MINIMUM, BOTTOM EDGE OF OPENING WITHIN 44" OF FLOOR IN ROOM.
- SHOWER HEAD MAX. 2.0 GAL/MIN. @ 80 psf. LAVATORY FAUCETS MIN. 0.8 GAL/MIN. @ 20 psf AND A MAX. OF 1.2 GAL/MIN. @ 60 psf. KITCHEN FAUCETS MAX. 1.8 GAL/MIN @ 60 psf.
- SHOWER w/ CERAMIC TILE OR FIBERGLASS ENCLOSURE TO 4" A.F. PROVIDE 1/2" BRASS FERRULES OR 1 1/2" x 1 1/2" ACCESS PANEL. PROVIDE ROD FOR CURTAIN OR MIN. 22" WIDE DOOR w/ TEMPERED GLASS.
- WATER CLOSET SPACE: 30" WIDE, 24" CLEAR IN FRONT OF CLOSET. MAX. FLUSH 1.28 GAL.
- BATH FAN 50 CFM, 5 AIR CHANGES PER HOUR. KITCHEN FAN 100 CFM.
- 1 HR FIREWALL WITH 5/8" TYPE "X" DRYWALL TO BOTTOM OF ROOF SHEATHING OR CEILING LID.
- 3" SELF-CLOSING, SELF-LATCHING DOOR w/ WEATHER STRIPPING.
- TANKLESS WATER HEATER: PROVIDE SEISMIC STRAPS

**SPECIAL NOTES:**

- Sheetrock nailing inspection is required. See A1a2a.
- The wall surface behind ceramic tile or other finish wall materials subject to water splash are to be constructed of materials not adversely affected by water. Fiber-reinforced, fiber-mat reinforced cement or glass mat gypsum boards shall be used. Water resistant gypsum board is no longer permitted to be used in these locations.
- Any operable window with a sill that is located less than 24" above the finished floor & more than 72" above finished grade or other surface below the exterior, must be protected by a guard or have fixed glass. The guard may not have openings that a sphere 4" in diameter can pass through.
- Studs to be 16" O.C., unless noted otherwise.
- Provide combustion air openings for gas fired appliances within 12" of the floor & ceiling for gas burning equipment.
- Combustion appliances shall be properly vented and air systems shall be designed to prevent back drafting.

**DOOR LANDING NOTES:**

- LANDINGS TO HAVE A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE DOOR OR 36", WHICHEVER IS GREATER.
- NO MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD.
- NOT MORE THAN 7/2" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
- MINIMUM NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 78" (8'-6") MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE DOOR STOP.

**1st FLOOR SUMMARY:**

1st FLOOR	1,986 S.F.
2nd FLOOR	824 S.F.
GARAGE	679 S.F.
COVERED PATIO	1,455 S.F.
<b>TOTAL</b>	<b>3,944 S.F.</b>

**SEE "D1" FOR DETAILS**

**STANDARD PLAN #2810**  
TRACT #6087 - FRESNO  
GARY McDONALD HOMES

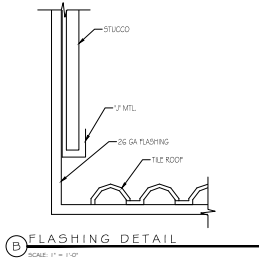
**PROJECTS**

Date	Description
10-14-16	PLAN CHECK #1 - 16-8084
3-31-17	2016 CODE UPDATE - PC #172874
5-04-17	2016 CODE UPDATE - PC #172874

Drawn by: **NIK**

Sheets: **A1**

The contractor shall verify all dimensions and conditions at the site and shall notify the Designer of any discrepancies between the actual conditions and the information shown on the drawings before proceeding with the work. The contractor shall immediately notify the Designer of any condition in which, in his opinion, might endanger the stability of the structure or cause distress to the structure.



**B FLASHING DETAIL**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

- Soil Bearing: 2,000 PSF.
- Concrete: 3,000 PSI in 28 days.
- Rebar: grade #4
- Anchor Bolts: 1/2" O.C. (with 7" wedge anchors in concrete)
- Interior Partitions: Shot Pins 0.145" x 2.875" length w/ washer @ 36" O.C. max and 6' from end.
- Hilti Co. ICC #1290, Z888, Rammed ICC #1147, 1639.
- Lumber: (unless otherwise noted) Beams & Posts: Douglas Fir #1 Studs & Plates: Douglas Fir #2 Pressure treated planks in contact with concrete
- Nailing per CBC, Table R602.3 "Fastening Schedule".
- Cutting, notching, & boring per CBC 2308.
- Provide chemical toilet during construction.

**KEY NOTES**

○ Circle with number refers to notes below.

- CLASS "A" CONC. TILE EAGLE ROOFING ON 30# FELT ON 7/16" OSB SHEATHING (24/16), COX EXT. GRADE IN EXPOSED AREAS, 1/8" GAP ALL EDGES METAL FLASHING AT EAVES. SHEATHING WALLING: 8@ 8" O.C. EN. 2X4 & 8@ 12" O.C. FN. MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. PROVIDE 4" BAPLES.
- ATTIC AREA VENTILATION CALCULATION:**  
**FRENCH FARM HOUSE**  
**1st FLOOR (1,481 S.F.):**  
REQD: 1481 / 150 = 9.87 S.F. PROVIDED: 10.08 S.F.  
(1) EAVE VENTS = 4.18 SF.  
(4) TILE ROOF VENTS = 2.72 SF.  
(2) GABLE VENTS = 3.18 SF.  
**2nd FLOOR (1,004 S.F.):**  
REQD: 1004 / 150 = 6.69 S.F. PROVIDED: 6.74 S.F.  
(7) EAVE VENTS = 2.66 SF.  
(5) TILE ROOF VENTS = 4.08 SF.  
**GARAGE AREA (337 S.F.):**  
REQD: 337 / 150 = 2.25 S.F. PROVIDED: 2.50 S.F.  
(2) EAVE VENTS = 0.76 SF.  
(1) TILE ROOF VENT = 0.68 SF.  
(1) GABLE VENT = 1.06 SF.  
(2) 1/2" x 3 1/2" EAVE SOFFIT VENTS w/ 1/4" NON-CORROSIVE METAL MESH (NFVA = 0.38 SF).  
SEE ROOF FRAMING PLAN FOR LAYOUT.  
(2) DRAGON'S FLAT STYLE VENT w/ 1/4" NON-CORROSIVE METAL MESH (NFVA = 0.68 SF).  
SEE ROOF FRAMING.  
(2) 14" x 24" RECTANGULAR GABLE END VENT w/ 1/4" MAX. NON-CORROSIVE METAL MESH. SEE ELEVATIONS. (NFVA = 1.06 SF).

**EXTERIOR LATH MATERIALS:**  
EAGLE ONE-COAT EXTERIOR STUCCO SYSTEM, ESR-2772 THE MAXIMUM COATING THICKNESS IS 1/2", PROVIDE ONE LAYER OF GRADE "D" BUILDING PAPER, AND TWO LAYERS OVER ANY PLYWOOD SHEATHING. APPLY 1" TO 1-1/2" THICK EXPANDED POLYSTYRENE (EPS) INSULATION BOARD. APPLY WIRE LATH THAT COMPLIES WITH UBC TABLE NO. 47-B USE MI, 20 GAUGE, 1 INCH GALVANIZED STEEL WOVEN WIRE FABRIC. CAULKING: ACRYLIC LATEX CAULKING MATERIAL COMPLYING WITH ASTM C-834. ALL TRIM, SCREEDS AND CORNER REINFORCEMENT MUST HAVE GALVANIZED STEEL OR APPROVED PLASTIC. WEEP SCREED SHALL BE 25 GAUGE "1" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY PAVED SURFACE.  
**EPS FOAM INSULATION (THERMAL BARRIER)**  
INSULFOAM LLC, 6004 NORTH WESTGATE BOULEVARD, SUITE 120 TACOMA, WASHINGTON, 98406 (524)447-5213  
THERMAL BUILDING CONCEPTS LLC, 1366 ELON DRIVE, WALKON, IOWA, 52172 ESR-4788.  
(b) 1/2" EXTERIOR GRADE PLYWOOD BOARD PAINTED w/ 1x2 BATTENS ON (2) LAYERS OF "D" PAPER.

PREPARED BY  
**W W ENTERPRISES**  
P.O. BOX 9339  
FRESNO, CA 93747  
Tel (559) 268-9339  
wwenterprises@outlook.com

STANDARD PLAN #2810  
TRACT #6087 - FRESNO  
GARY McDONALD HOMES



**2 REAR ELEVATION - "A" (FRENCH FARM HOUSE)**  
SCALE: 1/8" = 1'-0"

**TABLE R702.3 MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD AND GYPSUM PANEL PRODUCTS**

THICKNESS OF GYPSUM BOARD OR GYPSUM PANEL PRODUCTS (inches)	APPLICATION	ORIENTATION OF GYPSUM BOARD OR GYPSUM PANEL PRODUCTS TO FRAMING	MAXIMUM SPACING OF FRAMING MEMBERS (inches o-c)		SIZE OF NAILS FOR APPLICATION TO WOOD FRAMING*	
			Nails <sup>a</sup>	Screws <sup>b</sup>		
<b>Application without adhesive</b>						
1/2"	Ceiling <sup>c</sup>	Perpendicular	16	7	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; or 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head.
	Wall	Either direction	16	8	16	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 5d cooler nail, 0.086" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
	Ceiling	Either direction	16	7	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
5/8"	Ceiling	Perpendicular	24	7	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
	Wall	Either direction	24	8	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
	Wall	Either direction	16	8	16	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
5/8"	Ceiling	Either direction	16	7	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
	Ceiling	Perpendicular	24	7	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
	Wall	Perpendicular	24	6	6	1 1/2" long fd coated nails or equivalent drywall screws. Screws shall comply with Section R702.3.5.1
5/8"	Type X at garage ceiling beneath habitable rooms	Perpendicular	24	6	6	1 1/2" long fd coated nails or equivalent drywall screws. Screws shall comply with Section R702.3.5.1
	Wall	Either direction	24	8	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
	Wall	Either direction	16	8	16	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/2" long, annular-ringed; 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/16" head; or gypsum board nail, 0.0915" diameter, 1 1/2" long, 3/16" head.
<b>Application with adhesive</b>						
1/2"	Ceiling <sup>c</sup>	Perpendicular	16	16	16	Same as above for 1/2" gypsum board and gypsum panel products.
	Wall	Either direction	16	16	24	Same as above for 1/2" gypsum board and gypsum panel products.
5/8" or 5/8"	Ceiling	Either direction	16	16	16	Same as above for 5/8" and 5/8" gypsum board and gypsum panel products, respectively.
	Ceiling	Perpendicular	24	12	16	Same as above for 5/8" and 5/8" gypsum board and gypsum panel products, respectively.
Two 1/2" layers	Wall	Either direction	24	16	24	Base ply nailed as above for 1/2" gypsum board and gypsum panel products; face ply installed with adhesive.
	Wall	Either direction	24	24	24	Base ply nailed as above for 1/2" gypsum board and gypsum panel products; face ply installed with adhesive.

For SI: 1 inch = 25.4 mm.

a. For application without adhesive, a pair of nails spaced not less than 2 inches apart or more than 2 1/2 inches apart shall be permitted to be used with the pair of nails spaced 12 inches on center.

b. Screws shall be in accordance with Section R702.3.6. Screws for attaching gypsum board or gypsum panel products to structural insulated panels shall penetrate the wood structural panel facing not less than 1/4 inch.

c. Where cold-formed steel framing is used with a clinching design to receive nails by two edges of metal, the nails shall be not less than 3/4 inch longer than the gypsum board or gypsum panel product thickness and shall have ringed shanks. Where the cold-formed steel framing has a nailing groove formed to receive the nails, the nails shall have barbed shanks or be SD, 13" gage, 1 1/2" inches long, 3/16" inch head for 1/2" inch gypsum board or gypsum panel product; and 6d, 13 gage, 1 1/2" inches long, 3/16" inch head for 5/8" inch gypsum board or gypsum panel product.

d. Three-eighths-inch-thick single-ply gypsum board or gypsum panel product shall not be used on a ceiling where a water-based textured finish is to be applied, or where it will be required to support insulation above a ceiling. On ceiling applications to receive a water-based texture material, either hand or spray applied, the gypsum board or gypsum panel product shall be applied perpendicular to framing. Where applying a water-based texture material, the minimum gypsum board thickness shall be increased from 1/2 inch to 5/8 inch on center framing, and from 5/8 inch to 3/4 inch for 24-inch on center framing or 1 1/2 inch sag-resistant gypsum ceiling board shall be used.



**1 FRONT ELEVATION - "A" (FRENCH FARM HOUSE)**  
SCALE: 1/8" = 1'-0"

T = TEMPERED

PROJECT:

DATE: 10-25-16  
10-25-16  
3-13-17  
5-30-17

DESCRIPTION:  
PLAN CHECK #1 - 10-25-16  
2016 CODE UPDATE  
2016 CODE UPDATE - FC # 17-20784

DATE: 7-21-16

DRAWN BY: NIK

SHEET: **A2A**

The contractor shall verify all dimensions and conditions at the site and shall notify the Designer of any discrepancies between the actual conditions and information shown on the drawings before proceeding with the work. The contractor shall immediately notify the Designer of any condition in which, in its opinion, might endanger the stability of the structure or cause distress to the structure.

- GENERAL NOTES:**
1. Soil Boring: 2,000 PSF.
  2. Concrete: 3,500 PSI in 28 days.
  3. Rebar: grade #4.
  4. Anchor Bolts: 1/2" O.C. (with 7" wedge anchors in concrete).
  5. Interior Partitions: Shot Pins 0.145" x 2.875" length w/ washer @ 36" O.C. max and 6" from end, Hilti Co. ICC #129, 2388, Ramsert ICC #1147, 1639.
  6. Lumber: (unless otherwise noted) Beams & Posts: Douglas Fir #1 Studs & Plates: Douglas Fir #2 Pressure treated plates in contact with concrete.
  7. Nailing per CBC, Table R602.3 "Fastening Schedule".
  8. Cutting, notching, & boring per CBC 2308.
  9. Provide chemical toilet during construction.

**AGENDA ITEM NO. 21.**

PREPARED BY  
**WW ENTERPRISES**  
 P.O. BOX 9339  
 FRESNO, CA 93747  
 Tel (559) 288-9444 Fax (559) 772-6455  
 wwenterprises@earthlink.net

Alk. Know

STANDARD PLAN #2810  
 TRACT #6087 - FRESNO  
 GARY McDONALD HOMES

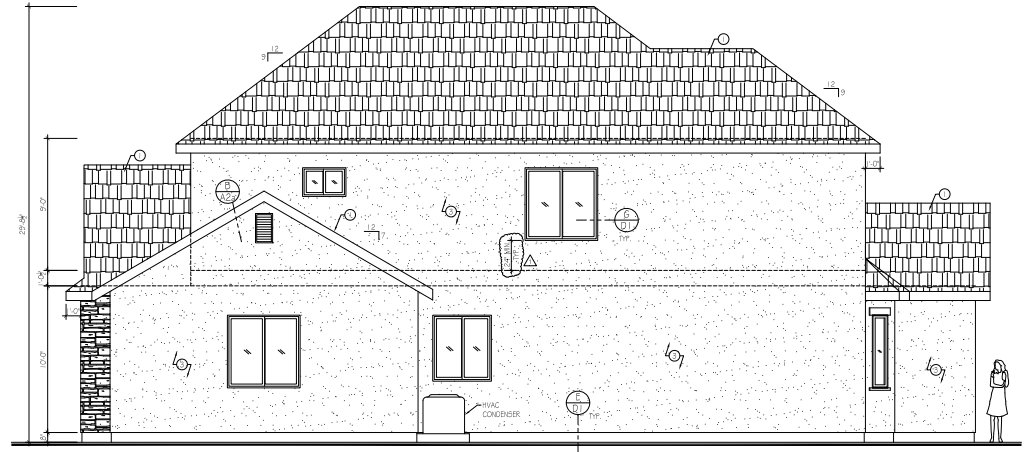
PROJECTS

Date	Description
10-2-16	PLAN CHECK #1 - 16-804
3-3-17	2016 CODE UPDATE
5-9-17	2016 CODE UPDATE - RC # 172074
7-21-16	

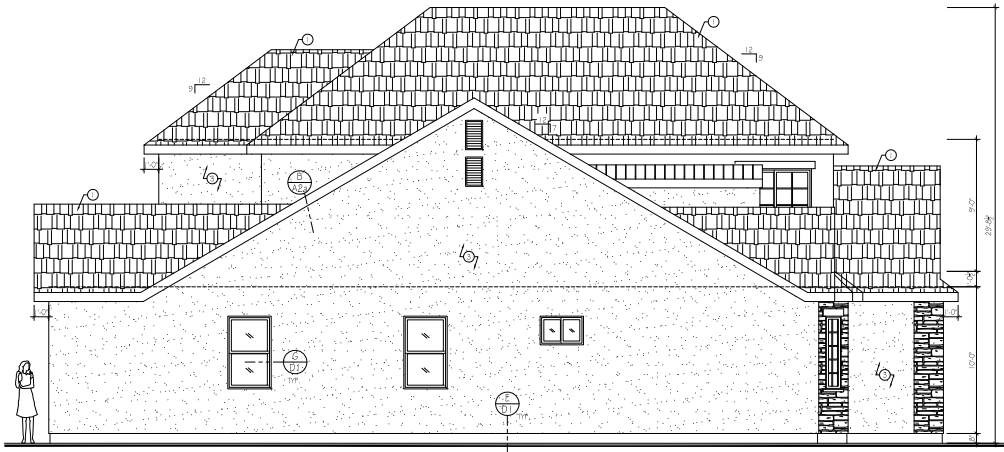
Drawn by: **NIK**

Sheets

**A3A**



**2 RIGHT ELEVATION - "A" (FRENCH FARM HOUSE)**  
 SCALE: 1/8" = 1'-0"



**1 LEFT ELEVATION - "A" (FRENCH FARM HOUSE)**  
 SCALE: 1/8" = 1'-0"

**KEY NOTES**

- Circle with number refers to notes below:
- 1 CLASS "A" CONC. TILE EAGLE ROOFING ON 30# FELT ON 7/16" OSB SHEATHING (2416), CCX EXT. GRADE IN EXPOSED AREAS. 1/8" GAP ALL EDGES METAL FLASHING AT EAVES. SHEATHING NAILINGS 80 @ 6" O.C. EN, BN & 60 @ 12" O.C. MIN. MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. PROVIDE 4" Baffles.
  - 2 ATTIC AREA VENTILATION CALCULATION:  
**FRENCH FARM HOUSE:**  
**3rd FLOOR (1,491 S.F.):**  
 REQ'D: 1483 / 150 = 9.89 S.F. PROVIDED: 10.08 S.F.  
 (1) EAVE VENTS = 4.18 SF.  
 (4) TILE ROOF VENTS = 2.72 SF.  
 (3) GABLE VENTS = 3.18 SF.  
**2nd FLOOR (1,004 S.F.):**  
 REQ'D: 1004 / 150 = 6.69 S.F. PROVIDED: 6.74 S.F.  
 (7) EAVE VENTS = 2.66 SF.  
 (6) TILE ROOF VENTS = 4.08 SF.  
**GARAGE AREA (297 S.F.):**  
 REQ'D: 337 / 150 = 2.25 S.F. PROVIDED: 2.50 S.F.  
 (2) EAVE VENTS = 0.76 SF.  
 (1) TILE ROOF VENT = 0.68 SF.  
 (1) GABLE VENT = 1.06 SF.
  - 3 2 1/2" x 3 1/2" EAVE SOFFIT VENTS w/ 1/4" NON-CORROSIVE METAL MESH (NFA = 0.38 SF). SEE ROOF FRAMING PLAN FOR LAYOUT.
  - 4 OHAGINS FLAT STYLE VENT w/ 1/4" NON-CORROSIVE METAL MESH (NFA = 0.68 SF). SEE ROOF FRAMING.
  - 5 4" x 3" RECTANGULAR GABLE END VENT w/ 1/4" MAX. NON-CORROSIVE METAL MESH. SEE ELEVATIONS. (NFA = 1.06 SF).
  - 6 EXTERIOR LATH MATERIALS:  
 EAGLE ONE-COAT EXTERIOR STUCCO SYSTEM, ESR-3772 THE MAXIMUM COATING THICKNESS IS 1/2". PROVIDE ONE LAYER OF GRADE "D" BUILDING PAPER, AND TWO LAYERS OVER ANY PLYWOOD SHEATHING. APPLY 1" TO 1-1/2" THICK EXPANDED POLYSTYRENE (EPS) INSULATION BOARD. APPLY WIRE LATH THAT COMPLIES WITH UBC TABLE NO. 47-B USE MI, 20 GAUGE, 1 INCH GALVANIZED STEEL WOVEN WIRE FABRIC, CAULKING: ACRYLIC LATEX CAULKING MATERIAL COMPLYING WITH ASTM C 834. ALL TRIM, SCREEDS AND CORNER REINFORCEMENT MUST HAVE GALVANIZED STEEL OR APPROVED PLASTIC. WEEP SCREED SHALL BE 25 GAUGE 1" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY PAVED SURFACE.
  - 7 EPS FOAM INSULATION (THERMAL BARRIER)  
 EPS FOAM INSULATION (THERMAL BARRIER)  
 INSULFOAM LLC, 6004 NORTH WESTGATE BOULEVARD, SUITE 120 TACOMA, WASHINGTON, 98406 (524)447-5213  
 THERMAL BUILDING CONCEPTS LLC, 1366 ELON DRIVE, WAUKON, IOWA, 52172 ESR-1788.

- LIGHT WEIGHT STONE VENEER NOTES:**
- 1 ELDRADO STONE VENEER, LIGHTWEIGHT AGGREGATE, PORTLAND CEMENT, AND IRON OXIDES, CODE CERTIFICATION: ICC ESR-1215, FA/VA MATERIAL RELEASE #910 UL #5497. INSTALL MANUFACTURED STONE VENEER PER THE MANUFACTURERS INSTALLATION INSTRUCTIONS. INSTALL VENEER PRODUCT OVER METAL LATH w/ ONE PART TYPE "M" MORTAR AND TWO PARTS MASONRY SAND. VENEER MATERIAL IS LIGHTWEIGHT AND NEEDS NO FOUNDATION SUPPORT.
  - 2 PROVIDE ANCHOR TIES EVERY 2 SQUARE FEET AND 16" O.C., HORIZONTALLY & VERTICALLY.
  - 3 ANCHOR TIES SHALL BE HOOKED TO ENGAGE OR ENCLOSE JOINT REINFORCEMENT.
  - 4 JOINT REINFORCEMENT TO BE CONTINUOUS #9 WIRE OR EQUIVALENT.

The contractor shall verify all dimensions and conditions at the site and shall notify the Designer if any discrepancies between the actual conditions and information shown on the drawings before proceeding with the work. The contractor shall immediately notify the Designer of any condition in which, in its opinion, might endanger the stability of the structure or cause distress to the structure.

**GENERAL NOTES:**

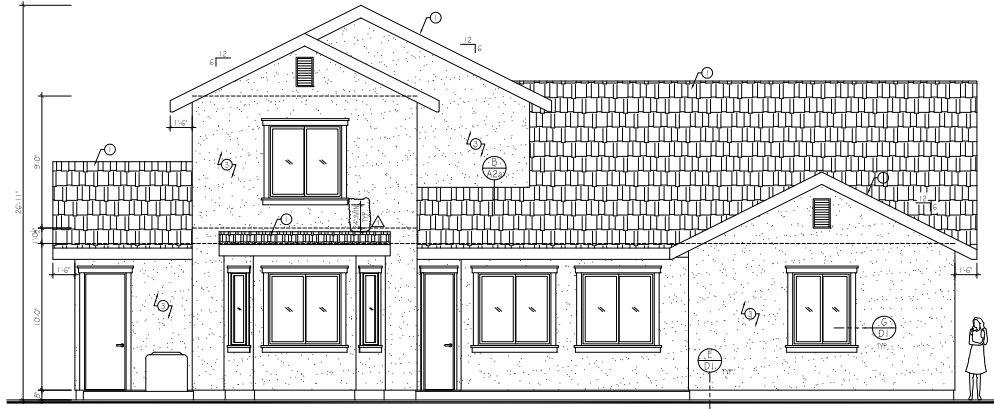
1. Soil Bearing: 2,000 PSF.
2. Concrete: 3,500 PSI in 28 days.
3. Rebar: grade #4.
4. Anchor Bolts: 1/2" O.C. (with 7" wedge anchors in concrete).
5. Interior Partitions: Shot Pins 0.145" x 2.875" length w/ washer @ 36" O.C. max and 6" from end, Hilti Co. ICC #129, 2385, Rammed ICC #1147, 1639.
6. Lumber: (unless otherwise noted) Beams & Posts: Douglas Fir #1 Studs & Plates: Douglas Fir #2 Pressure treated plates in contact with concrete. Nailing per CBC "Table R602.3 'Fastening Schedule'".
7. Cutting, notching, & boring per CBC 2308.
8. Provide chemical toilet during construction.

**KEY NOTES**

- Circle with number refers to notes below:
1. CLASS "M" CONC. TILE EAGLE ROOFING ON 30# FELT ON 7/16" OSB SHEATHING (2416), CCX DTY. GRADE IN EXPOSED AREAS. 1/8" GAP ALL EDGES METAL FLASHING AT EAVES, SHEATHING NAILING: 8d @ 6" O.C. EN, BN & 8d @ 12" O.C. FN. MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. PROVIDE 4" BATTLES.
  2. **ATTIC AREA VENTILATION CALCULATION:**  
**ARTS & CRAFTS:**  
**1st FLOOR (1,481 S.F.):**  
 REQ'D: 1481 / 150 = 9.87 S.F. PROVIDED 10.08 S.F.  
 (1) EAVE VENTS = 4.38 S.F.  
 (4) TILE ROOF VENTS = 2.72 S.F.  
 (3) GABLE VENTS = 3.18 S.F.  
**2nd FLOOR (1,004 S.F.):**  
 REQ'D: 1004 / 150 = 6.69 S.F. PROVIDED 6.82 S.F.  
 (5) EAVE VENTS = 3.04 S.F.  
 (4) TILE ROOF VENTS = 2.72 S.F.  
 (1) GABLE VENT = 1.06 S.F.  
**GARAGE AREA (337 S.F.):**  
 REQ'D: 337 / 150 = 2.25 S.F. PROVIDED: 2.50 S.F.  
 (2) EAVE VENTS = 0.76 S.F.  
 (1) TILE ROOF VENT = 0.68 S.F.  
 (1) GABLE VENT = 1.06 S.F.

**PREPARED BY**  
**W.W. ENTERPRISES**  
**P.O. BOX 9339**  
**FRESNO, CA 93747**  
 Tel (559) 288-9444 Fax (559) 272-6195  
 www.wwenterprises.com

**STANDARD PLAN #2810**  
**TRACT #6087 - FRESNO**  
**GARY McDONALD HOMES**



**2 REAR ELEVATION - "B" (ARTS & CRAFTS)**  
 SCALE: 1/8" = 1'-0"



**1 FRONT ELEVATION - "B" (ARTS & CRAFTS)**  
 SCALE: 1/8" = 1'-0"

- LIGHT WEIGHT STONE VENEER NOTES:**
1. ELBORADO STONE VENEER, LIGHTWEIGHT AGGREGATE, PORTLAND CEMENT, AND IRON OXIDES, CODE CERTIFICATION: ICC ESR-1215, FA/VA MATERIAL RELEASE #910 UL #9497. INSTALL MANUFACTURED STONE VENEER PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALL VENEER PRODUCT OVER METAL LATH w/ ONE PART TYPE "M" MORTAR AND TWO PARTS MASONRY SAND. VENEER MATERIAL IS LIGHTWEIGHT AND NEEDS NO FOUNDATION SUPPORT.
  2. PROVIDE ANCHOR TIES EVERY 2 SQUARE FEET AND 16" O.C., HORIZONTALLY & VERTICALLY.
  3. ANCHOR TIES SHALL BE HOOKED TO ENGAGE OR ENCLOSE JOINT REINFORCEMENT.
  4. JOINT REINFORCEMENT TO BE CONTINUOUS #9 WIRE OR EQUIVALENT.

T = TEMPERED

PROJECTS

Date	Describe
10-24-16	PLAN CHECK #1 - 16-804
3-14-17	2016 CODE UPDATE
6-04-17	2016 CODE UPDATE - RC # 170874

Date: 7-21-16  
 Drawn by: NIK

Sheets

**A2B**



The contractor shall verify all dimensions and conditions at the site and shall notify the Designer of any discrepancies between the actual conditions and information shown on the drawings before proceeding with the work. The contractor shall immediately notify the Designer of any condition in which, in its opinion, might endanger the stability of the structure or cause distress to the structure.

**GENERAL NOTES:**

1. Soil Bearing: 2,000 PSF.
2. Concrete: 3,000 PSI in 28 days.
3. Rebar: grade #4
4. Anchor Bolts: 1/2" O.C. (with 7" wedge anchors in concrete).
5. Interior Partitions: Shot Pins 0.145" x 2.875" length w/ washer @ 36" O.C. max and 6" from end, Hilti Co. ICC #1290, 2385, Ramsert ICC #1147, 1639.
6. Lumber: (unless otherwise noted) Beams & Posts: Douglas Fir #1 Studs & Plates: Douglas Fir #2 Pressure treated plates in contact with concrete
7. Nailing per CBC: Table R602.3 "Fastening Schedule".
8. Cutting, notching, & boring per CBC 2308.
9. Provide chemical to let during construction.

**KEY NOTES**

○ Circle with number refers to notes below:

1. GLASS 1/4" CONC. TILE EAGLE ROOFING ON 30# FELT ON 7/16" OSB SHEATHING (24/16), COX EXT. GRADE IN EXPOSED AREAS. 1/8" GAP ALL EDGES METAL FLASHING AT EAVES. SHEATHING NAILING 8d @ 6" O.C. EN, BN & 8d @ 12" O.C. FN. MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. PROVIDE #4 BAFFLES.
2. ATTIC AREA VENTILATION CALCULATION:

**ARTS & CRAFTS:**

**1st FLOOR (1,481 S.F.):**

- REQD: 1407 / 150 = 9.38 SF, PROVIDED 10.08 S.F.  
 (1) EAVE VENTS = 4.18 SF.  
 (4) TILE ROOF VENTS = 2.72 SF.  
 (3) GABLE VENTS = 3.18 SF.

**2nd FLOOR (1,004 S.F.):**

- REQD: 1004 / 150 = 6.69 SF, PROVIDED 6.62 S.F.  
 (8) EAVE VENTS = 3.04 SF.  
 (4) TILE ROOF VENTS = 2.72 SF.  
 (1) GABLE VENT = 1.06 SF.

**GARAGE AREA (397 S.F.):**

- REQD: 397 / 150 = 2.65 SF, PROVIDED: 2.50 SF.  
 (1) TILE ROOF VENT = 0.68 SF.  
 (1) GABLE VENT = 1.06 SF.

- 2a. 2 1/2" x 3 1/2" EAVE SOFFIT VENTS w/ 1/4" NON-CORROSIVE METAL MESH (NFVA = 0.38 SF). SEE ROOF FRAMING PLAN FOR LAYOUT.

- 2b. OHAGINS FLAT STYLE VENT w/ 1/4" NON-CORROSIVE METAL MESH (NFVA = 0.88 SF). SEE ROOF FRAMING.

- 2c. 4" x 4" RECT ANGULAR GABLE END VENT w/ 1/4" MAX. NON-CORROSIVE METAL MESH. SEE ELEVATIONS. (NFVA = 1.06 SF).

**3. EXTERIOR LATH MATERIALS:**

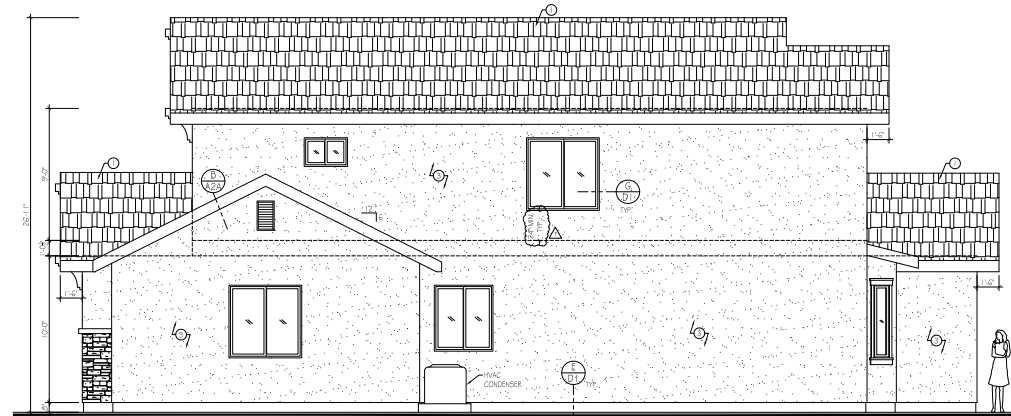
3a. ONE-COAT EXTERIOR STUCCO SYSTEM, ESR-3772 THE MAXIMUM COATING THICKNESS IS 1/2". PROVIDE ONE LAYER OF GRADE 'D' BUILDING PAPER, AND TWO LAYERS OVER ANY PLYWOOD SHEATHING. APPLY 1" TO 1-1/2" THICK EXPANDED POLYSTYRENE (EPS) INSULATION BOARD. APPLY WIRE LATH THAT COMPLES WITH USC TABLE NO. 47-B USE ML 20 GAUGE, 1 INCH GALVANIZED STEEL WOVEN WIRE FABRIC, CAULKING, ACRYLIC LATEX CAULKING MATERIAL COMPLYING WITH ASTM C 834. ALL TORN, SCREENS AND CORNER REINFORCEMENT MUST HAVE GALVANIZED STEEL OR APPROVED PLASTIC. WEEP SCREED SHALL BE 25 GAUGE 1" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY PAVED SURFACE.

**EPS FOAM INSULATION (THERMAL BARRIER)**

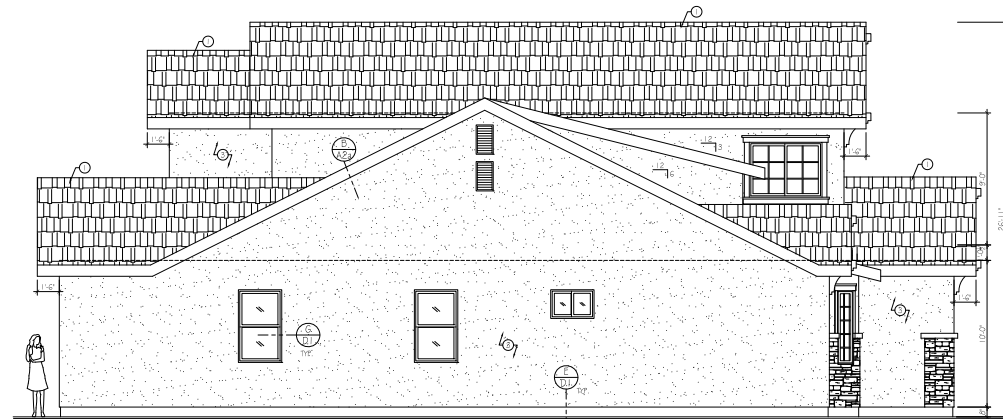
INSULFOAM LLC, 6004 NORTH WESTGATE BOULEVARD, SUITE 120 TACOMA, WASHINGTON, 98406 (952)444-5213 THERMAL BUILDING CONCEPTS LLC, 1366 ELON DRIVE, WAUKON, IOWA, 52172 ESR-1785.

**LIGHT WEIGHT STONE VENEER NOTES:**

1. ELDOBRADO STONE VENEER, LIGHTWEIGHT AGGREGATE, PORTLAND CEMENT, AND IRON OXIDES. CODE CERTIFICATION: ICC ESR-1215, FA/VA MATERIAL RELEASE #910 UL #5497. INSTALL MANUFACTURED STONE VENEER PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALL VENEER PRODUCT OVER METAL LATH w/ ONE PART TYPE "M" MORTAR AND TWO PARTS MASONRY SAND. VENEER MATERIAL IS LIGHTWEIGHT AND NEEDS NO FOUNDATION SUPPORT.
2. PROVIDE ANCHOR TIES EVERY 2 SQUARE FEET AND 16" O.C. HORIZONTALLY & VERTICALLY.
3. ANCHOR TIES SHALL BE HOOKED TO ENGAGE OR ENCLOSE JOINT REINFORCEMENT.
4. JOINT REINFORCEMENT TO BE CONTINUOUS #9 WIRE OR EQUIVALENT.



2 RIGHT ELEVATION - "B" (ARTS & CRAFTS)  
 SCALE: 1/4" = 1'-0"



1 LEFT ELEVATION - "B" (ARTS & CRAFTS)  
 SCALE: 1/4" = 1'-0"

**AGENDA ITEM NO. 21.**

PREPARED BY  
**W.W. ENTERPRISES**  
 P.O. BOX 9339  
 FRESNO, CA 93747  
 Tel (559) 288-8848  
 Fax (559) 272-6435  
 www.enterprises@earthlink.net

*Ark. Know*

STANDARD PLAN #2810  
 TRACT #6087 - FRESNO  
 GARY McDONALD HOMES

PROJECTS

Date	Description
10-14-16	PLAN CHECK #1 - 16-0804
3-14-17	2016 CODE UPDATE
6-04-17	2016 CODE UPDATE - RC # 172074
Date: 7-21-16	
Drawn by: NIK	

Sheets  
**A3B**

The contractor shall verify all dimensions and conditions at the site and shall notify the Designer of any discrepancies between the actual conditions and information shown on the drawings before proceeding with the work. The contractor shall immediately notify the Designer of any condition in which, in its opinion, might endanger the stability of the structure or cause distress to the structure.

**GENERAL NOTES:**

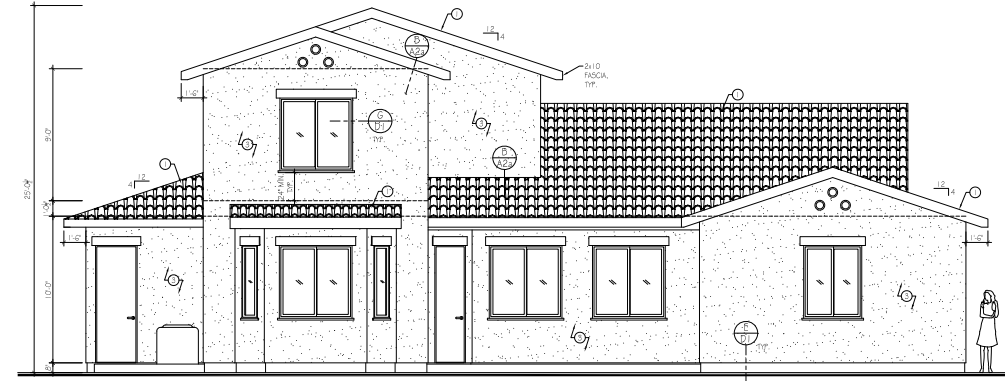
1. Soil Bearing: 2,000 PSF.
2. Concrete: 3,500 PSI in 28 days.
3. Rebar: grade #4
4. Anchor Bolts: 1/2" O.C. (with 7" wedge anchors in concrete).
5. Interior Partitions: Shot Pins 0.145" x 2.875" length w/ washer @ 36" O.C. max and 6" from end, Hilti Co. ICC #120, 2385, Ramsert ICC #1147, 1639.
6. Lumber: (unless otherwise noted) Beams & Posts: Douglas Fir #1 Studs & Plates: Douglas Fir #2 Pressure treated plates in contact with concrete
7. Nailing per CBC "Table R602.3 'Fastening Schedule'".
8. Cutting, notching, & boring per CBC 2308.
9. Provide chemical toilet during construction.

**AGENDA ITEM NO. 21.**

**PREPARED BY**  
**WW ENTERPRISES**  
**P.O. BOX 9339**  
**FRESNO, CA 93747**  
 Tel: (559) 288-8888 Fax: (559) 722-6435  
 wwenterprises@earthlink.net

**KEY NOTES**

- Circle with number refers to notes below.
- 1. GLASS 1" CONC. TILE EAGLE ROOFING ON 30# FELT ON 7/16" OSB SHEATHING (24/16), COX EXT. GRADE IN EXPOSED AREAS. 1/8" GAP ALL EDGES METAL FLASHING AT EAVES. SHEATHING NAILING: 6d @ 6" O.C. EN & 8d @ 12" O.C. FIN. MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. PROVIDE #4 BAFFLES.
- 2. **ATTIC AREA VENTILATION CALCULATION:**  
**EARLY CALIFORNIA:**  
**1st FLOOR (1,481 S.F.):**  
 REQ'D: 1481 / 150 = 9.87 S.F. PROVIDED 10.08 S.F.  
 (1) EAVE VENTS = 4.18 S.F.  
 (8) TILE ROOF VENTS = 5.44 S.F.  
**2nd FLOOR (1,004 S.F.):**  
 REQ'D: 1004 / 150 = 6.69 S.F. PROVIDED 6.74 S.F.  
 (7) EAVE VENTS = 3.66 S.F.  
 (6) TILE ROOF VENTS = 4.08 S.F.  
**GARAGE AREA (337 S.F.):**  
 REQ'D: 337 / 150 = 2.25 S.F. PROVIDED: 2.50 S.F.  
 (3) EAVE VENTS = 1.14 S.F.  
 (2) TILE ROOF VENTS = 1.35 S.F.  
 2a. 22 1/2" x 3 1/2" EAVE SOFFIT VENTS w/ 1/4" NON-CORROSIVE METAL MESH (NFVA = 0.38 SF).  
 SEE ROOF FRAMING PLAN FOR LAYOUT.  
 2b. ONGARD'S "S" STYLE VENT w/ 1/4" NON-CORROSIVE METAL MESH (NFVA = 0.66 SF). SEE ROOF FRAMING.  
**3. EXTERIOR LATH MATERIALS:**  
 EAGLE ONE-COAT EXTERIOR STUCCO SYSTEM, ESR-2772 THE MAXIMUM COATING THICKNESS IS 1/2". PROVIDE ONE LAYER OF GRADE "D" BUILDING PAPER, AND TWO LAYERS OVER ANY PLYWOOD SHEATHING. APPLY 1" TO 1-1/2" THICK EXPANDED POLYSTYRENE (EPS) INSULATION BOARD. APPLY WIRE LATH THAT COMPLIES WITH UBC TABLE NO. 47-8 USE 1# 20 GAUGE 1.10x3 GALVANIZED STEEL WOVEN WIRE FABRIC. CAULKING: ACRYLIC LATEX CAULKING MATERIAL COMPLYING WITH ASTM C 834. ALL TRIM, SCREEDS AND CORNER REINFORCEMENT MUST HAVE GALVANIZED STEEL OR APPROVED PLASTIC. WEEP SCREEDS SHALL BE 25 GAUGE 7" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY PAVED SURFACE.  
**EPS FOAM INSULATION (THERMAL BARRIER)**  
 INSULFOAM LLC, 6014 NORTH WESTGATE BOULEVARD, SUITE 120 TACOMA, WASHINGTON, 98406 (952)447-5213  
 THERMAL BUILDING CONCEPTS LLC, 1366 ELON DRIVE, WAUKON, IOWA, 52172 ESR-1788.



**2 REAR ELEVATION - "C" (EARLY CALIFORNIA)**  
 SCALE: 1/8" = 1'-0"



**1 FRONT ELEVATION - "C" (EARLY CALIFORNIA)**  
 SCALE: 1/8" = 1'-0"

PROJECTS

**STANDARD PLAN #2810**  
**TRACT #6087 - FRESNO**  
**GARY McDONALD HOMES**

Date	Drawn by	Checked by	Description
7-21-16	NIK		PLAN CHECK #1 - 16-8304
			2016 CODE UPDATE
			2016 CODE UPDATE - RC # 172874

Sheets  
**A2C**

The contractor shall verify all dimensions and conditions at the site and shall notify the Designer of any discrepancies between the actual conditions and information shown on the drawings before proceeding with the work. The contractor shall immediately notify the Designer of any condition in which, in its opinion, might endanger the stability of the structure or cause distress to the structure.

**GENERAL NOTES:**

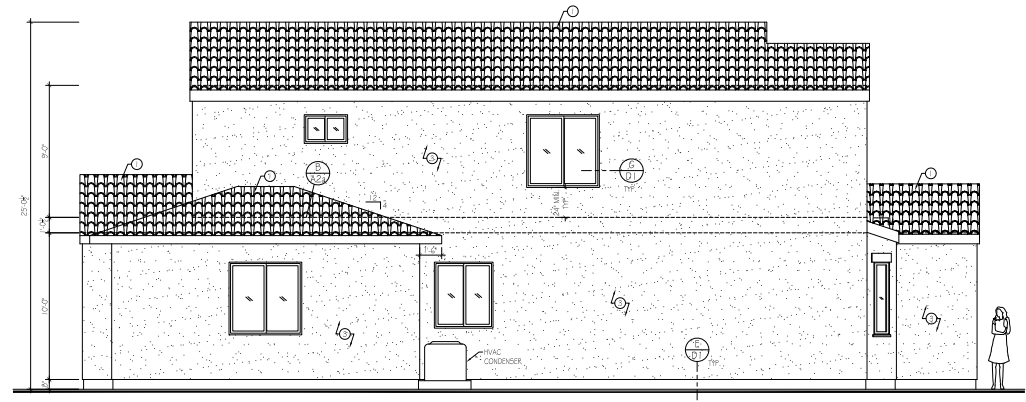
1. Soil Bearing: 2,000 PSF.
2. Concrete: 3,000 PSI in 28 days.
3. Rebar: grade #4
4. Anchor Bolts: 1/2" O.C. (with 7" wedge anchors in concrete).
5. Interior Partitions: Shot Pins 0.145"  $\phi$  x 2.875' length w/ washer @ 36" O.C. max and 6' from end, Hilti Co. ICC #120, 2385, Rammed ICC #1147, 1639.
6. Lumber: (unless otherwise noted) Beams & Posts: Douglas Fir #1 Studs & Plates: Douglas Fir #2 Pressure treated plates in contact with concrete
7. Nailing per CBC, Table R602.3 "Fastening Schedule".
8. Clipping, nailing, & bolting per CBC 2308.
9. Provide chemical toilet during construction.

**AGENDA ITEM NO. 21.**

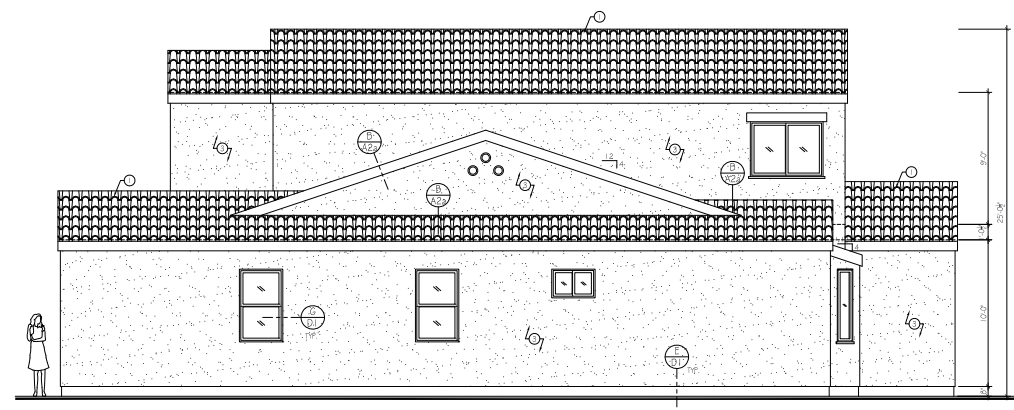
PREPARED BY  
**W W ENTERPRISES**  
 P.O. BOX 9339  
 FRESNO, CA 93747  
 Tel (559) 288-8400 Fax (559) 272-6195  
 www.wwenterprises.com

**KEY NOTES**

- Circle with number refers to notes below:
- 1 CLASS "A" CONC. TILE EAGLE ROOFING ON 30# FELT ON 7/16" OSB SHEATHING (24/16), CCX EXT. GRADE IN EXPOSED AREAS, 1/8" GAP ALL EDGES METAL FLASHING AT EAVES, SHEATHING INSULATED @ 6" O.C. EN, BN & RI @ 12" O.C. FIN. MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. PROVIDE 4" BARRILES.
- 2 **ATTIC AREA VENTILATION CALCULATION:**  
**EARLY CALIFORNIA:**  
**1st FLOOR (1,481 S.F.):**  
 REQ'D: 1481 / 150 = 9.87 S.F. PROVIDED: 10.08 S.F.  
 (1) EAVE VENTS = 4.18 SF.  
 (8) TILE ROOF VENTS = 5.94 SF.  
**2nd FLOOR (1,004 S.F.):**  
 REQ'D: 1004 / 150 = 6.69 S.F. PROVIDED: 6.74 S.F.  
 (7) EAVE VENTS = 2.66 SF.  
 (6) TILE ROOF VENTS = 4.08 SF.  
**GARAGE AREA (237 S.F.):**  
 REQ'D: 237 / 150 = 1.58 S.F. PROVIDED: 2.50 S.F.  
 (3) EAVE VENTS = 1.14 SF.  
 (2) TILE ROOF VENTS = 1.36 SF.  
 2a 22 1/2" x 3 1/2" EAVE SOFFIT VENTS w/ 1/4" NON-CORROSIVE METAL MESH (NFVA = 0.38 SF). SEE ROOF FRAMING PLAN FOR LAYOUT.  
 2b OHGIBNS "S" STYLE VENT w/ 1/4" NON-CORROSIVE METAL MESH (NFVA = 0.68 SF), SEE ROOF FRAMING.  
**3 EXTERIOR LATH MATERIALS:**  
 EAGLE ONE-COAT EXTERIOR STUCCO SYSTEM, ESR-2772 THE MAXIMUM COATING THICKNESS IS 1/2", PROVIDE ONE LAYER OF GRADE "D" BUILDING PAPER, AND TWO LAYERS OVER ANY PLYWOOD SHEATHING. APPLY 1" TO 1-1/2" THICK EXPANDED POLYSTYRENE (EPS) INSULATION BOARD. APPLY WIRE LATH THAT COMPLIES WITH USC TABLE NO. 47-B USE MI, 20 GAUGE, 1 INCH GALVANIZED STEEL WOVEN WIRE FABRIC, CAULKING: ACRYLIC LATEX CAULKING MATERIAL COMPLYING WITH ASTM C 834. ALL TRIM, SCREENS AND CORNER REINFORCEMENT MUST HAVE GALVANIZED STEEL OR APPROVED PLASTIC. WEEP SCREEN SHALL BE 25 GAUGE 1" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY FINISH SURFACE.  
**EPS FOAM INSULATION (THERMAL BARRIER)**  
 INSULFOAM LLC, 6004 NORTH WESTGATE BOULEVARD, SUITE 120 TACOMA, WASHINGTON, 98406 (952)447-5213  
 THERMAL BUILDING CONCEPTS LLC, 1366 ELON DRIVE, WAKARUSA, IOWA, 52172 ESR-1788.



**2 RIGHT ELEVATION - "C" (EARLY CALIFORNIA)**  
 SCALE: 1/4" = 1'-0"



**1 LEFT ELEVATION - "C" (EARLY CALIFORNIA)**  
 SCALE: 1/4" = 1'-0"

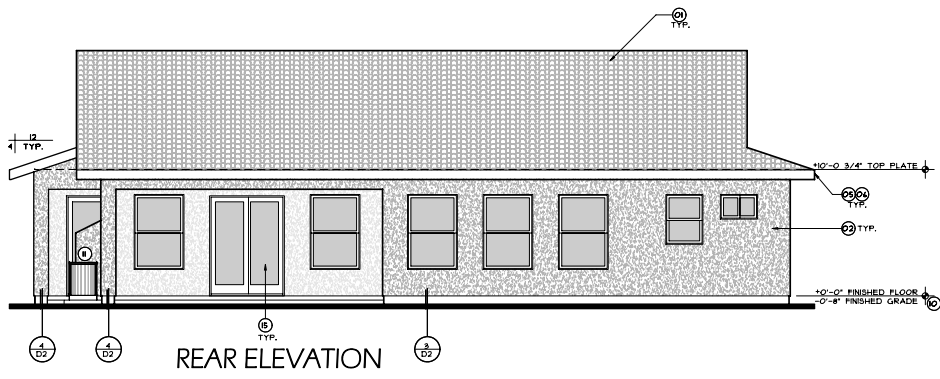
PROJECTS

STANDARD PLAN #2810  
 TRACT #6087 - FRESNO  
 GARY McDONALD HOMES

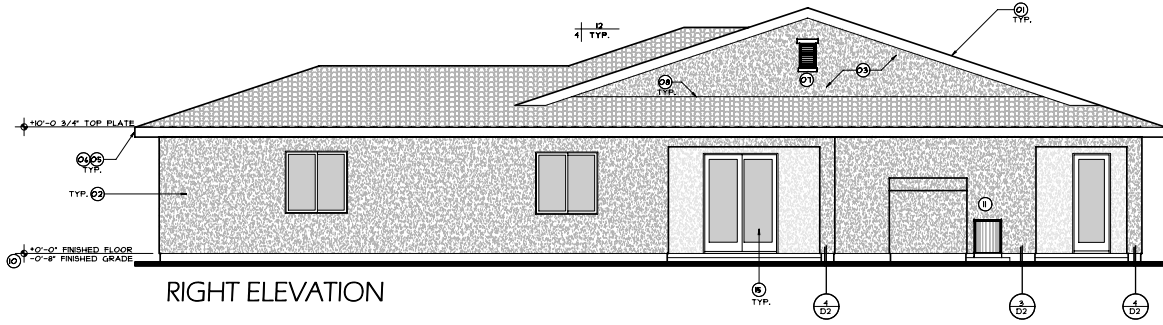
Date	Drawn by	Checked by	Approved by
7-21-16	NIK		

Sheets  
**A3C**

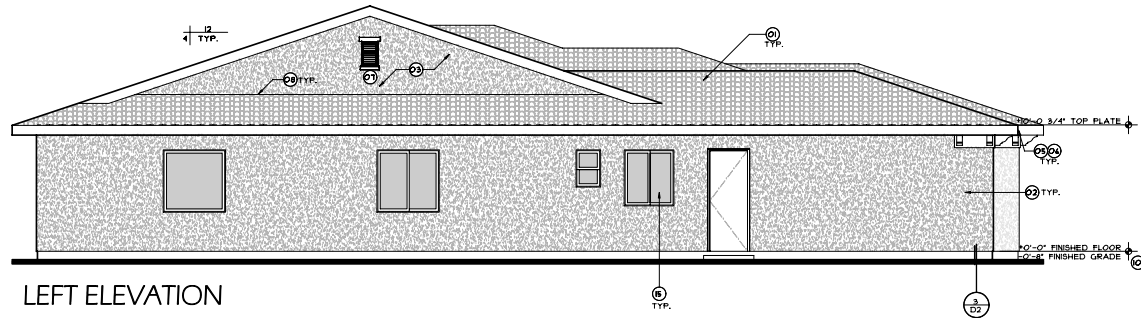




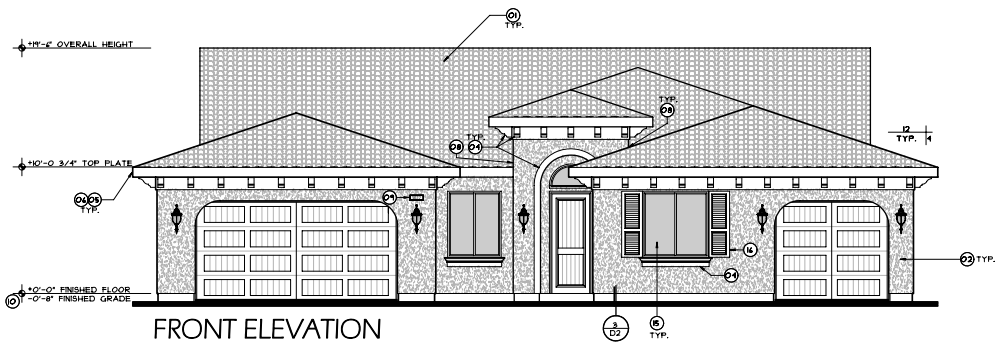
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

- ELEVATION KEYNOTES**
- 01 EASED CORN. ROOF TILE, USE 1/2\"/>
  - 02 BRITANNIA OF BRK OR BETTER
  - 03 ONE-TON MANUFACTURE TRUSS SYSTEM LOCATED IN GARAGE. PROVIDE 2\"/>
  - 04 FINISH FIBERGLASS REINFORCED POLYESTER FIBERGLASS INSULATION TO MATCH EXISTING INSULATION. PROVIDE 2\"/>
  - 05 2x4 HINGED TRUSS SYSTEM LOCATED IN GARAGE. PROVIDE 2\"/>
  - 06 2x4 HINGED TRUSS SYSTEM LOCATED IN GARAGE. PROVIDE 2\"/>
  - 07 2x4 HINGED TRUSS SYSTEM LOCATED IN GARAGE. PROVIDE 2\"/>
  - 08 2x4 HINGED TRUSS SYSTEM LOCATED IN GARAGE. PROVIDE 2\"/>
  - 09 2x4 HINGED TRUSS SYSTEM LOCATED IN GARAGE. PROVIDE 2\"/>
  - 10 FINISHED GRADE. SLOPE AWAY FROM BUILDING
  - 11 GARAGE HINGED TRUSS. SEE MECHANICAL PLAN
  - 12 CRITICAL MANUFACTURED STONE VENEER
  - 13 CRITICAL MANUFACTURED STONE VENEER. SEE MECHANICAL PLAN
  - 14 FINISHED GRADE. SLOPE AWAY FROM BUILDING
  - 15 FULL HEIGHT VENEER. RETURN 2\"/>
  - 16 FULL HEIGHT VENEER. RETURN 2\"/>
  - 17 FINISH PAINTED EXTERIOR GRADE WOOD SHEDDING
  - 18 FINISH PAINTED EXTERIOR GRADE WOOD SHEDDING
  - 19 FINISH PAINTED EXTERIOR GRADE WOOD SHEDDING
  - 20 OUTDOORS. SEE DETAIL W/02

**Eddie J. Caldera Architect**  
 1526 N. GLENCASTLE WAY  
 FRESNO, CALIFORNIA 93730  
 Phone (559) 256-4509  
 Fax (559) 256-4599

All drawings and within notated appearing herein constitute original and unpublished work of the Architect and may not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the Architect.

Project Number: 3022

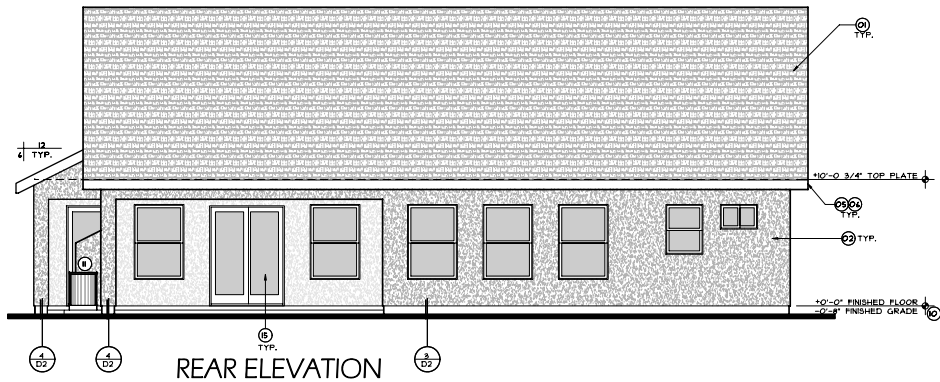
Plot Date: 4/10/2011

Revisions	Symbol	Date	Comments	By
	△			
	△			
	△			

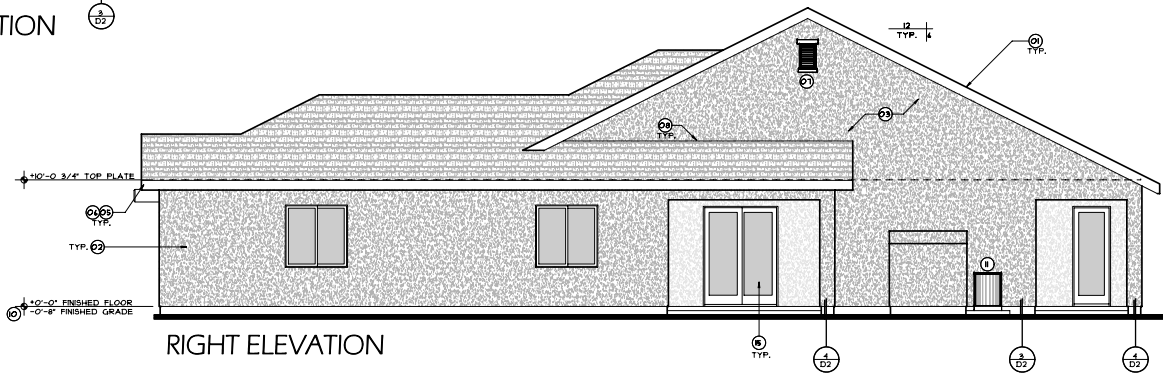
**GlenEagles Homes**  
 Standard Plan 3022 Sq. Ft.  
*A Touchstone Home by NCI*

APPROVAL STAMPS

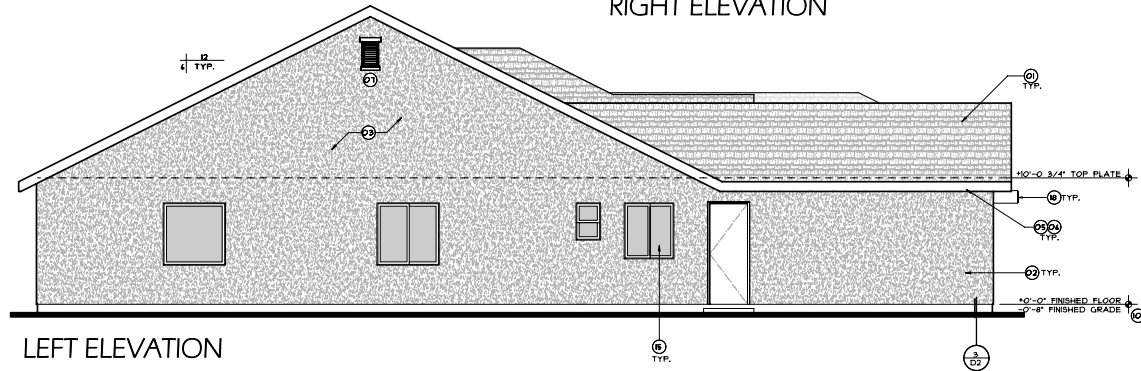
**EXTERIOR ELEVATIONS A**  
 SCALE 1/4"=1'-0"



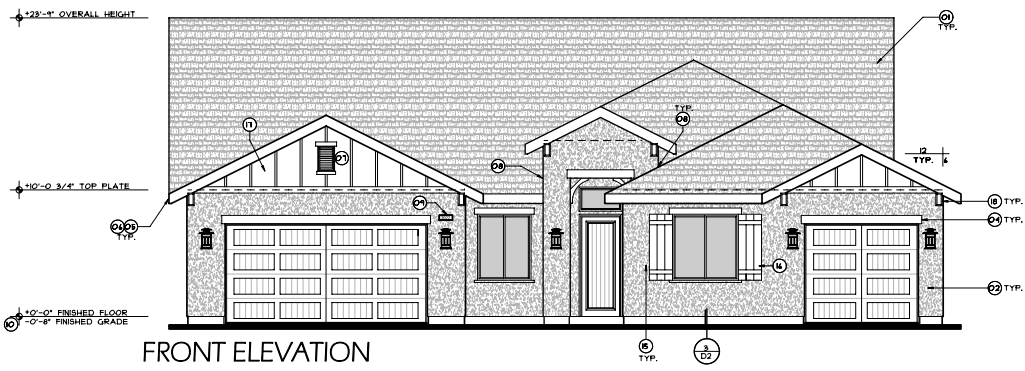
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

EXTERIOR ELEVATIONS B  
SCALE 1/4"=1'-0"

- ELEVATION KEYNOTES**
- 01 EDGE COOL ROOF TILE, USE TOP OF APPROVED LIST, AND STYLE OF TILE TO BE INSTALLED.
  - 02 ONE-TYP. MANHOLE STUCCO SYSTEM SCHEME - 2" COAT, 1/2" FINISH COAT, 1/2" COAT FOR EQUAL. USE 1/2" MANHOLE BOARD SCHEMES FOR COAT EQUAL.
  - 03 FINISH TERRAZZO BARBER RESTORE AND COLORED FINISH, 1/2" COAT, 1/2" COAT FOR EQUAL. FINISH COAT TO BE 1/2" COAT OF 1/2" MANHOLE BOARD SCHEMES FOR COAT EQUAL.
  - 04 DECORATIVE STUCCO OF FOAM (TYP.) INSTALL PER MANUFACTURER SPEC.
  - 05 2x4 HIDELOCK FASCIA OR GARAGE RAFTER TYP.
  - 06 1/2" OVERHANG GUTTER.
  - 07 GABLE END VENT, REFER TO ROOF FRAMING PLAN FOR GABLE END VENT, REFER TO ROOF FRAMING PLAN FOR GABLE END VENT, REFER TO ROOF FRAMING PLAN FOR GABLE END VENT.
  - 08 ILLUMINATED ADDRESS LOCATION.
  - 09 FINISH GRADE, SLOPE AWAY FROM BUILDING.
  - 10 GROUND MOUNTED EQUIP. SEE MECHANICAL PLAN FOR GROUND MOUNTED EQUIP. SEE MECHANICAL PLAN FOR GROUND MOUNTED EQUIP. SEE MECHANICAL PLAN FOR GROUND MOUNTED EQUIP.
  - 11 CRITICAL MANUFACTURED STONE VENER.
  - 12 CRITICAL MANUFACTURED STONE VENER. SEE MECHANICAL PLAN FOR GROUND MOUNTED EQUIP. SEE MECHANICAL PLAN FOR GROUND MOUNTED EQUIP. SEE MECHANICAL PLAN FOR GROUND MOUNTED EQUIP.
  - 13 FINISH GRADE, SLOPE AWAY FROM BUILDING.
  - 14 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 15 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 16 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 17 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 18 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 19 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 20 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 21 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 22 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 23 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 24 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 25 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 26 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 27 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 28 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 29 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 30 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 31 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 32 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 33 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 34 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 35 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 36 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 37 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 38 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 39 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 40 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 41 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 42 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 43 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 44 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 45 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 46 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 47 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 48 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 49 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 50 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 51 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 52 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 53 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 54 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 55 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 56 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 57 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 58 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 59 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 60 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 61 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 62 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 63 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 64 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 65 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 66 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 67 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 68 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 69 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 70 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 71 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 72 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 73 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 74 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 75 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 76 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 77 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 78 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 79 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 80 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 81 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 82 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 83 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 84 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 85 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 86 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 87 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 88 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 89 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 90 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 91 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 92 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 93 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 94 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 95 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 96 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 97 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 98 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 99 FULL HEIGHT VENER, RETURN 2'-0" W/LD.
  - 100 FULL HEIGHT VENER, RETURN 2'-0" W/LD.

**Eddie J. Caldera**  
Architect  
1526 N. GLENCASTLE WAY  
FREMONT, CALIFORNIA 94730  
PHONE (510) 256-4509  
FAX (510) 256-4599



All drawings and within notated appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number:  
3022

Plot Date: 4/10/2011

Revisions	Symbol	Date	Comments	By
	△			
	△			
	△			
	△			

**GlenEagles Homes**  
 Standard Plan 3022 Sq.Ft.  
*A Touchstone Home by NCI*

APPROVAL STAMPS



AGENDA ITEM NO. 21.



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 444 Standard Plan Tracts #53, #27  
 Plot Date: 1/23/2020

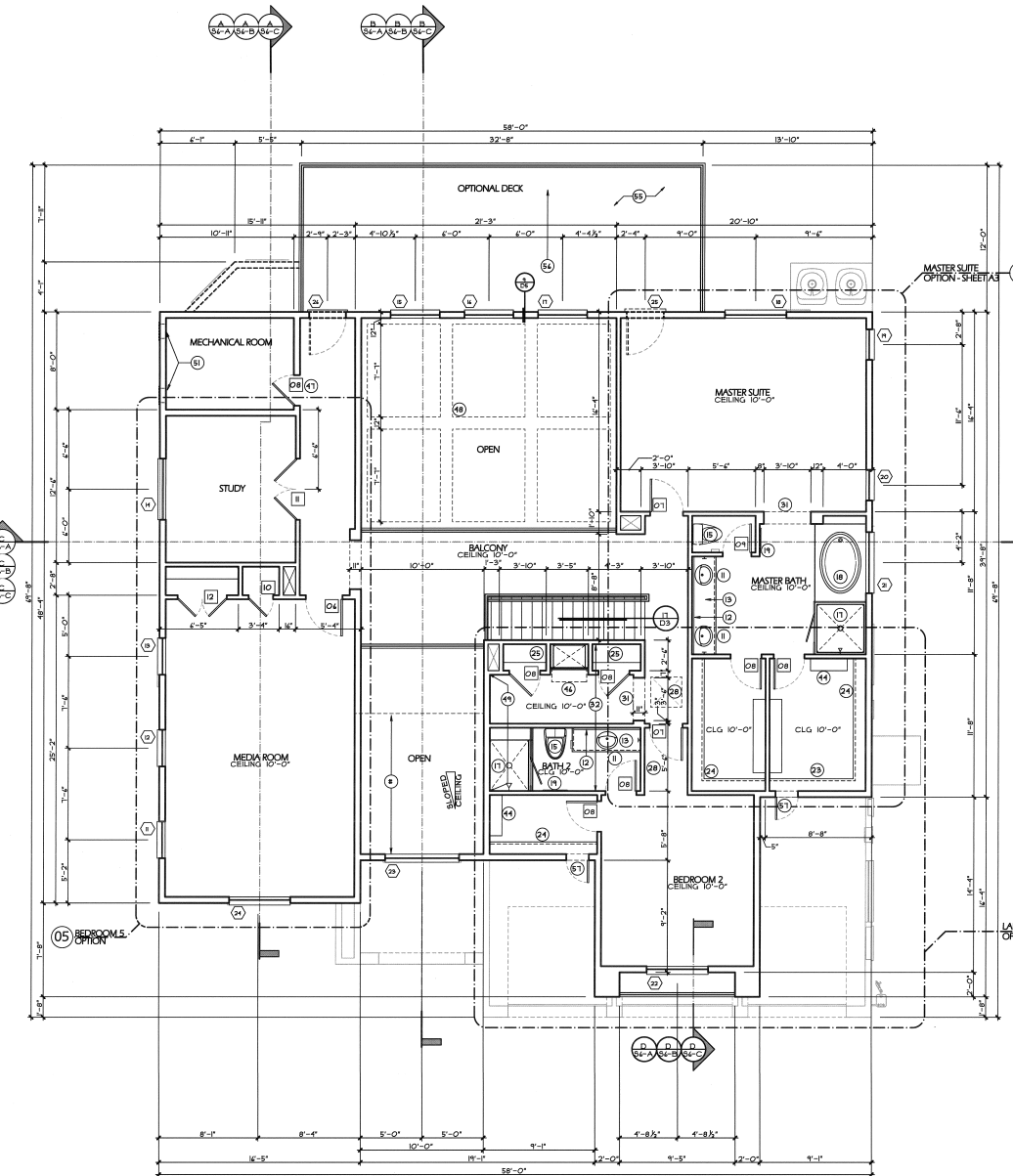
Symbol	Date	Revisions	Comments	By
△				
△				

**GlenEagles Homes**  
 4446 Standard Plan Tracts 61.53, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

STANDARD PLAN  
 UNIT OF PHASE DEVELOPMENT  
 #20  
 DATE: JUL 8 0 2020

- 01 FLOOR KEYNOTES
- 02 REFRIGERATOR (RUC) - PROVIDE COLD WATER STUB
- 03 DISHWASHER
- 04 DOUBLE SINK W/ DSE
- 05 DOUBLE OVEN OPLUM
- 06 BARBICUE GRILL
- 07 REFRIGERATOR (RUC) - PROVIDE COLD WATER STUB
- 08 DOUBLE SINK W/ DSE
- 09 DOUBLE OVEN OPLUM
- 10 VANTY COUNTER w/ KNEE SPACE BELOW
- 11 VANTY COUNTER w/ KNEE SPACE BELOW
- 12 VANTY W/ KNEE SPACE BELOW
- 13 VANTY W/ KNEE SPACE BELOW
- 14 VANTY W/ KNEE SPACE BELOW
- 15 VANTY W/ KNEE SPACE BELOW
- 16 VANTY W/ KNEE SPACE BELOW
- 17 VANTY W/ KNEE SPACE BELOW
- 18 VANTY W/ KNEE SPACE BELOW
- 19 VANTY W/ KNEE SPACE BELOW
- 20 VANTY W/ KNEE SPACE BELOW
- 21 VANTY W/ KNEE SPACE BELOW
- 22 VANTY W/ KNEE SPACE BELOW
- 23 VANTY W/ KNEE SPACE BELOW
- 24 VANTY W/ KNEE SPACE BELOW
- 25 VANTY W/ KNEE SPACE BELOW
- 26 VANTY W/ KNEE SPACE BELOW
- 27 VANTY W/ KNEE SPACE BELOW
- 28 VANTY W/ KNEE SPACE BELOW
- 29 VANTY W/ KNEE SPACE BELOW
- 30 VANTY W/ KNEE SPACE BELOW
- 31 VANTY W/ KNEE SPACE BELOW
- 32 VANTY W/ KNEE SPACE BELOW
- 33 VANTY W/ KNEE SPACE BELOW
- 34 VANTY W/ KNEE SPACE BELOW
- 35 VANTY W/ KNEE SPACE BELOW
- 36 VANTY W/ KNEE SPACE BELOW
- 37 VANTY W/ KNEE SPACE BELOW
- 38 VANTY W/ KNEE SPACE BELOW
- 39 VANTY W/ KNEE SPACE BELOW
- 40 VANTY W/ KNEE SPACE BELOW
- 41 VANTY W/ KNEE SPACE BELOW
- 42 VANTY W/ KNEE SPACE BELOW
- 43 VANTY W/ KNEE SPACE BELOW
- 44 VANTY W/ KNEE SPACE BELOW
- 45 VANTY W/ KNEE SPACE BELOW
- 46 VANTY W/ KNEE SPACE BELOW
- 47 VANTY W/ KNEE SPACE BELOW
- 48 VANTY W/ KNEE SPACE BELOW
- 49 VANTY W/ KNEE SPACE BELOW
- 50 VANTY W/ KNEE SPACE BELOW



NUMBER	LOCATION	CODE/SIZE	RO WIDTH	RO HEIGHT
1	POWDER BATH	SH3040	34"	12"
1	OPN	FHS53804	31"	14"
2	NOOK	SL4050	48"	40"
3	NOOK	SL4050A	48"	40"
4	NOOK	FHS53804	31"	14"
5	FAMILY ROOM	FHS10290-14	114"	14"
6	BEDROOM 4	SL5050	60"	40"
7	BATH 3	SL3020	34"	24"
7a	GUEST OPT BATH	SH2050	34"	24"
8	BEDROOM 3	SL5050	60"	40"
9	GARAGE	SL5050	60"	40"
10	DINING	SL5050(X)	60"	40"
11	MEDIA ROOM	P3030	34"	34"
12	MEDIA ROOM	P3030	34"	34"
13	MEDIA ROOM	P3030	34"	34"
14	OPT. BATH 4	SL3020	34"	24"
14	STUDY	SL5050	60"	40"
15	FAMILY ROOM	P4040	48"	48"
16	FAMILY ROOM	P4040	48"	48"
17	FAMILY ROOM	P4040	48"	48"
18	MASTER SUITE	SH2460	30"	12"
19	MASTER SUITE	SH2460	30"	12"
20	MASTER SUITE	SH2460	30"	12"
21	MASTER BATH	FHS5050	60"	40"
22	BEDROOM 2	SL5040	60"	48"
23	ENTRY - ELEV A	AG024	12"	33"
24	ENTRY - ELEV B/C	P4024	12"	33"
25	MEDIA ROOM	SL5050	60"	40"
26	DECK OPTION	FHS53804	31"	14"
26	DECK OPTION	FHS53804	31"	14"
ALL WINDOWS ARE DUAL PANE, **TEMP				
U-VALUE SHGC				
ASH: ASING				
CS: CASNET				
SH: SINGLE HUNG				
SL: SLIDER				
A: ARCHED (FIXED)				
P: PICTURE (FIXED)				
MSL: MALIBU SLIDING PATIO DOOR				
MSB: MALIBU SWINGING FRENCH DOOR				

SYMBOL	QTY	DIMENSIONS	TYPE	LABEL	REMARKS
O1	2	8080	ALUM	N/A	ROLL-UP GARAGE DOOR
O2	1	1080	ALUM	N/A	ROLL-UP GARAGE DOOR
O3	1	(2) 3080	S.C.	N/A	3/8" THK. EXTERIOR
O4	1	2880	S.C.	1 HR.	3/8" THK. EXT. W/SELF CLOSE
O5	1	3080	S.C.	N/A	3/8" THK. EXTERIOR
O6	1	3080	H.C.	N/A	3/8" THK. INTERIOR
O7	4	2880	H.C.	N/A	3/8" THK. INTERIOR
O8	4	2480	H.C.	N/A	3/8" THK. INTERIOR
O9	4	2480	H.C.	N/A	3/8" THK. INTERIOR
O10	1	2080	H.C.	N/A	3/8" THK. INTERIOR
O11	1	(2) 2880	H.C.	N/A	3/8" THK. INTERIOR
O12	2	(2) 2080	H.C.	N/A	3/8" THK. INTERIOR
O13	1	2480	S.C.	1 HR.	3/8" THK. EXT. W/SELF CLOSE

SECOND FLOOR - 2066 SQ FT  
**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

- TYPICAL FRAMING SPANS
- RAK SPAN
- 4'-0"
- 6'-0"
- 8'-0"
- 10'-0"
- 12'-0"
- 14'-0"
- 16'-0"
- 18'-0"
- 20'-0"
- TYPICAL FRAMING NOTES
- ALL INTERIOR STUDS TO BE CONT. 2x4 OR 2x6 O.C. OR
- ALL EXTERIOR STUDS TO BE CONT. 2x4 OR 2x6 O.C. OR
- 2x4 OR 2x6 O.C. INTERIOR STUDS TO BE CONT. 2x4 OR 2x6 O.C.
- 2x4 OR 2x6 O.C. EXTERIOR STUDS TO BE CONT. 2x4 OR 2x6 O.C.
- NO JOINTED STUDS ARE TO BE USED
- FLOOR NOTES
- 1. SITE ELEVATION AND FINISH ELEVATION SHALL BE HIGH
- 2. FLOOR ON FORMER INSULATION SHALL ONLY BE USED IN
- 3. LATH AND GYP BOARD IMPROVEMENTS SHALL BE FOR
- 4. WALL SURFACES BEHIND GRANITE TILES OR OTHER
- 5. FOR LANDING REQUIREMENTS, SEE FLOOR AND
- 6. PROVIDE RISER BORDERS AT ALL CONCRETE DRAFT
- 7. SEE FLOOR SCHEDULE
- 8. SEE 0 SHEETS FOR GENERAL DETAILS.
- 9. SEE 0 SHEETS FOR GENERAL NOTES.



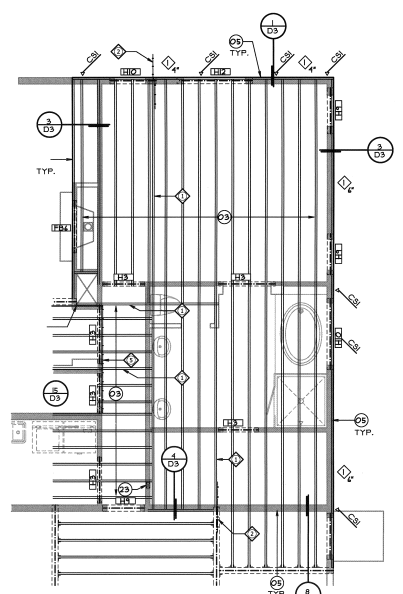
AGENDA ITEM NO. 21.



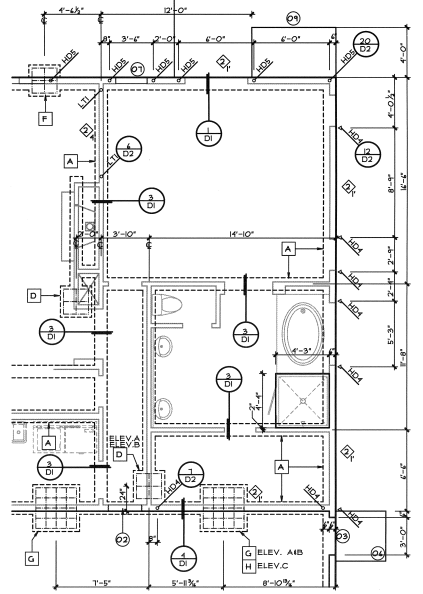
All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts #53, #27  
Plot Date: 1/23/2020

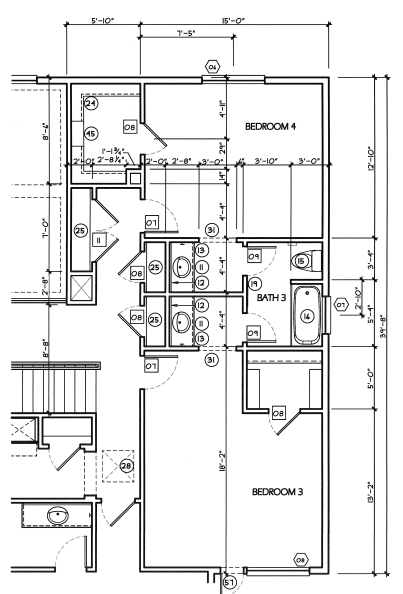
Symbol	Date	REVISIONS	Comments	By
▲				
▲				
▲				



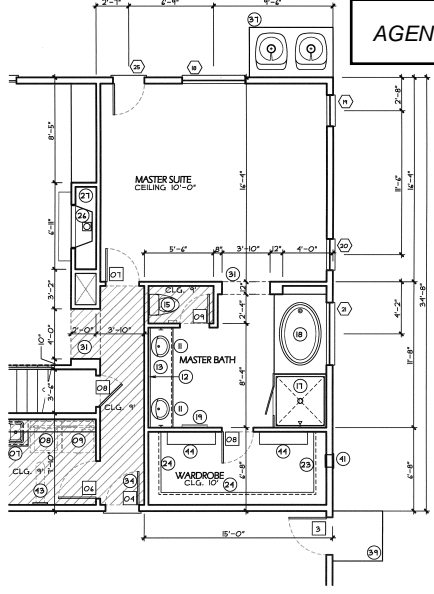
FLOOR FRAMING  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



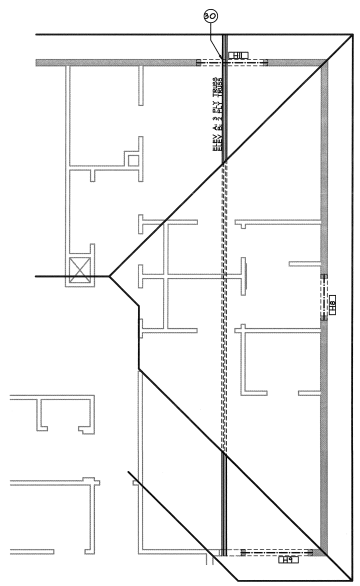
FOUNDATION  
SEE MAIN PLANS FOR KEYNOTES AND REBARING PLAN INFO



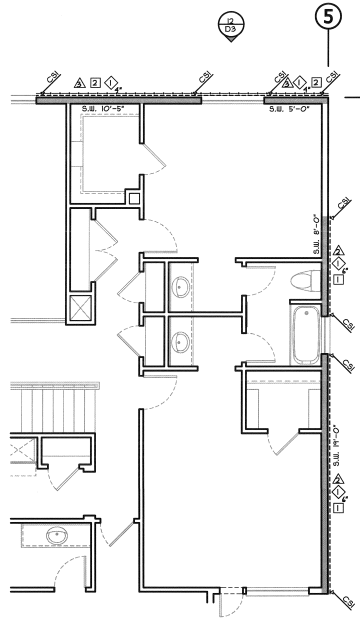
2ND FLOOR MASTER SUITE  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



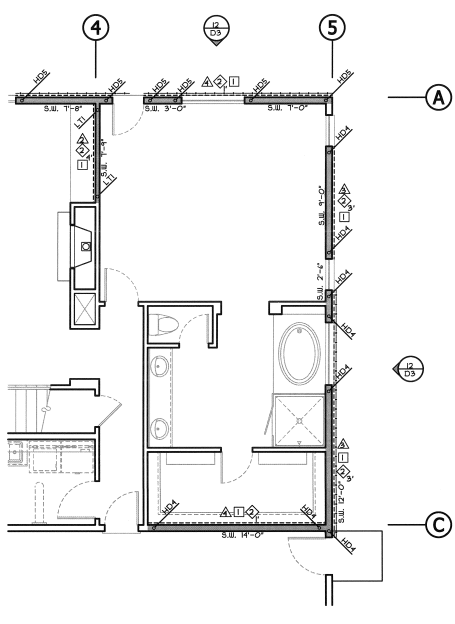
1ST FLOOR MASTER SUITE  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



ROOF FRAMING  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



2ND FLOOR SHEARWALLS  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



1ST FLOOR SHEARWALLS  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING

**GlenEagles Homes**  
4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

CHANGED BY AN  
CITY OF TRENTON DEVELOPMENT DEPT.  
JUL 20 2020 4:41

OPTIONAL  
MASTER SUITE DOWNSTAIRS  
SCALE: 1/4" = 1'-0"

A3  
Sheet Number



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number:  
4446 Standard Plan Tracts 453, 425  
Plot Date: 6/17/2020

Symbol	Date	Comments	By
△			
△			
△			

**GlenEagles Homes**  
4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

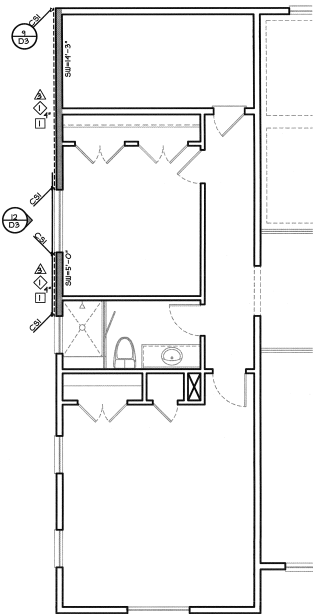
APPROVAL STAMPS

RECEIVED

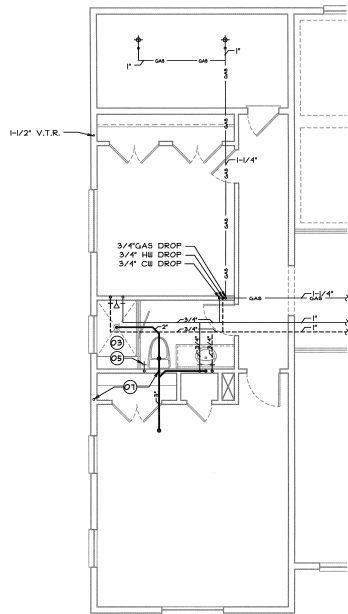
JUN 24 2020  
CITY OF FRESNO  
BUILDING & SAFETY SERVICES  
CITY OF FRESNO DEVELOPMENT DEPT.  
#20  
DATE: JUL 30 2020 2:41  
CITY OF FRESNO  
BUILDING & SAFETY SERVICES  
BACK CHECKED

A4

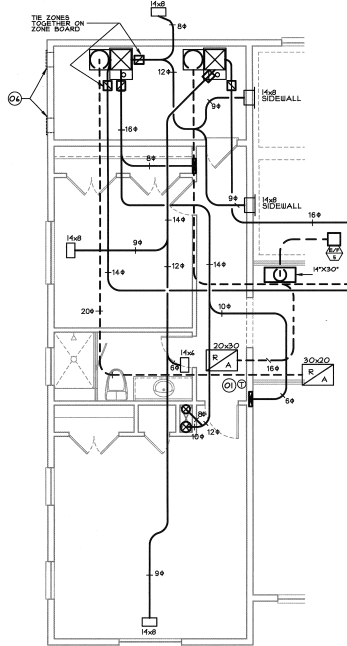
Sheet Number



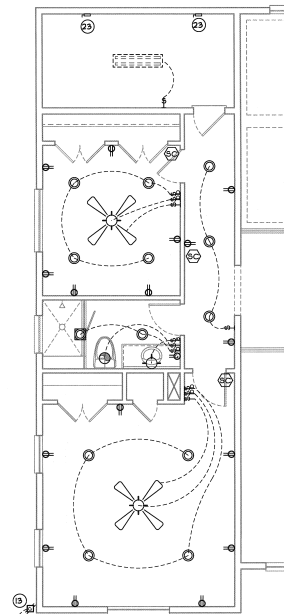
BEDROOM 5 SHEARWALLS  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



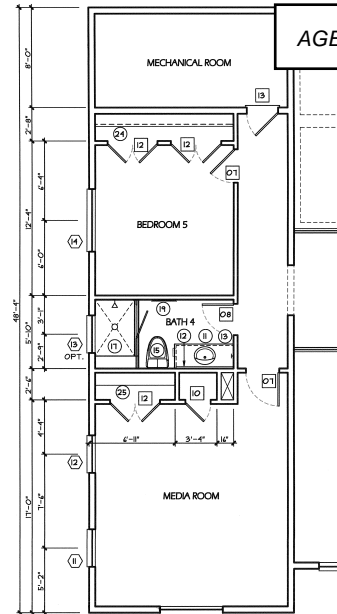
BEDROOM 5 PLUMBING PLAN  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



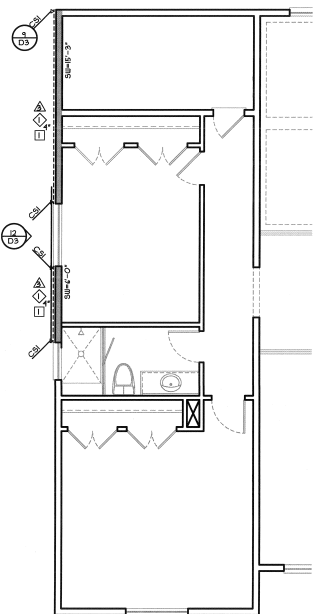
BEDROOM 5 MECHANICAL PLAN  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



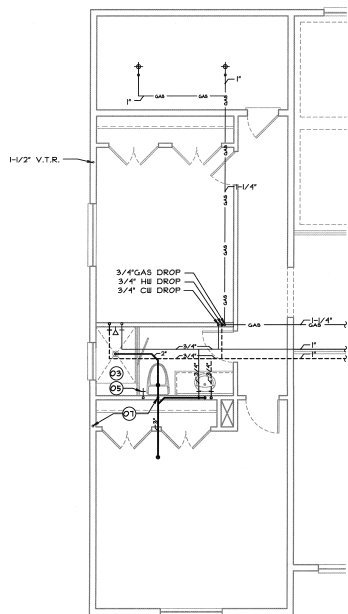
BEDROOM 5 ELECTRICAL PLAN  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



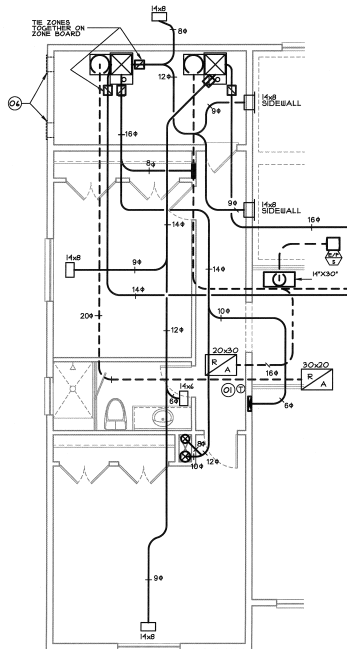
BEDROOM 5 OPTION  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



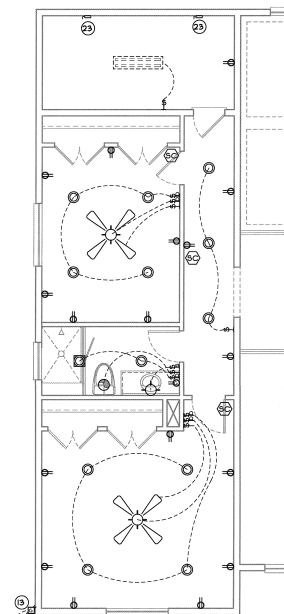
BEDROOM 6 SHEARWALL  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



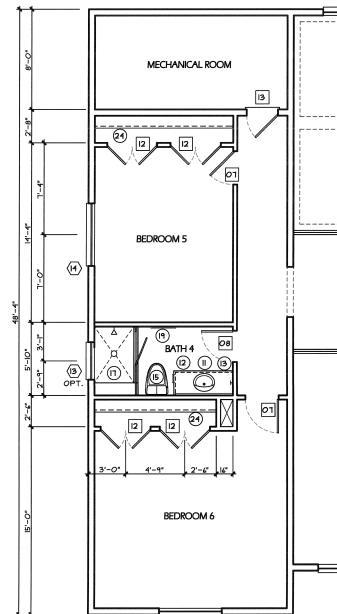
BEDROOM 6 PLUMBING PLAN  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



BEDROOM 6 MECHANICAL PLAN  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



BEDROOM 6 ELECTRICAL PLAN  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING



BEDROOM 6 OPTION  
SEE MAIN PLANS FOR KEYNOTES  
AND STANDARD FRAMING

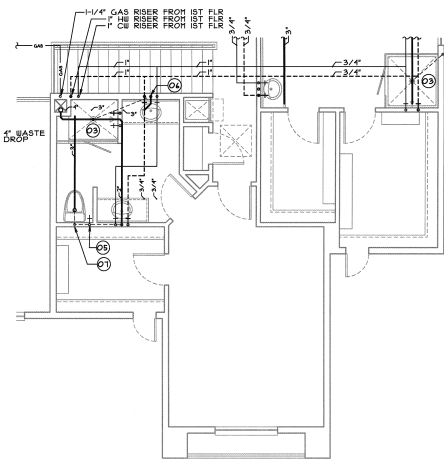
AGENDA ITEM NO. 21.



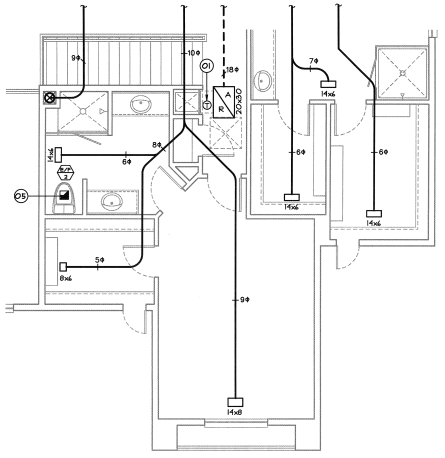
All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts 6153, 6275  
Plot Date: 7/23/2020

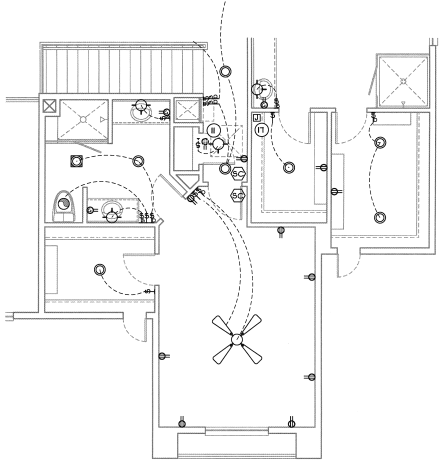
Symbol	Date	Comments	By
△		REVISIONS	
△			
△			



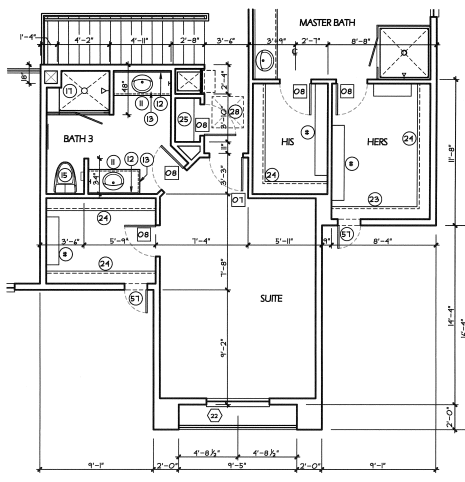
SUITE PLUMBING PLAN  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



SUITE MECHANICAL PLAN  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING

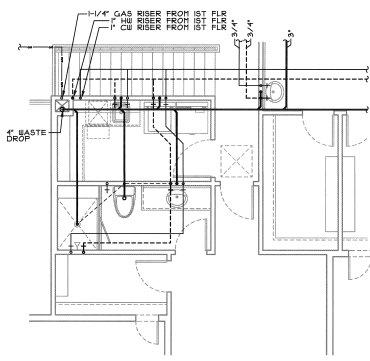


SUITE ELECTRICAL PLAN  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING

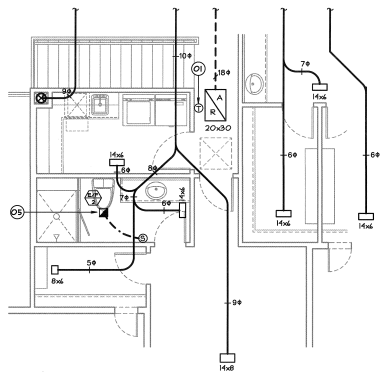


SUITE OPTION  
REQUIRES DOWNSTAIRS LAUNDRY  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING

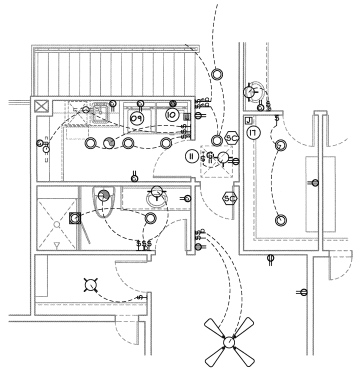
**GlenEagles Homes**  
4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*



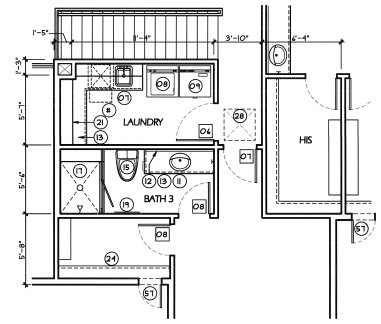
LAUNDRY PLUMBING PLAN  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



LAUNDRY MECHANICAL PLAN  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



LAUNDRY ELECTRICAL PLAN  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING



LAUNDRY OPTION  
SEE MAIN PLANS FOR KEYNOTES AND STANDARD FRAMING

APPROVAL STAMPS

STANDARD PLAN  
CITY OF FRESNO DEVELOPMENT DEPT.  
#20 241  
DATE: JUL 20 2020

A5

Sheet Number

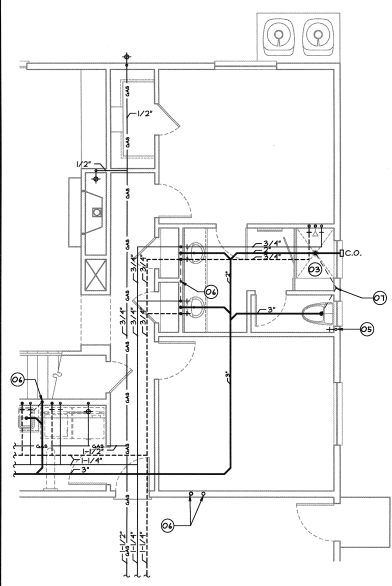
AGENDA ITEM NO. 21.



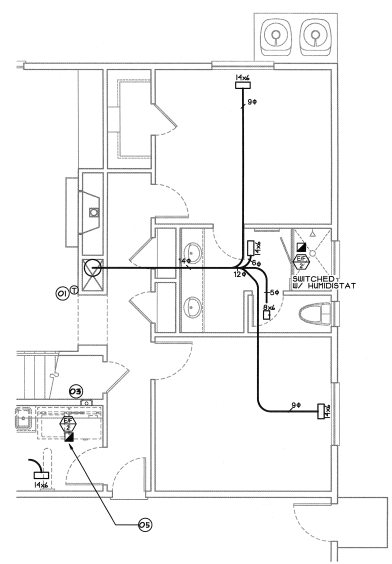
All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts 6153, 6238, 6275  
 Plot Date: 6/17/2020

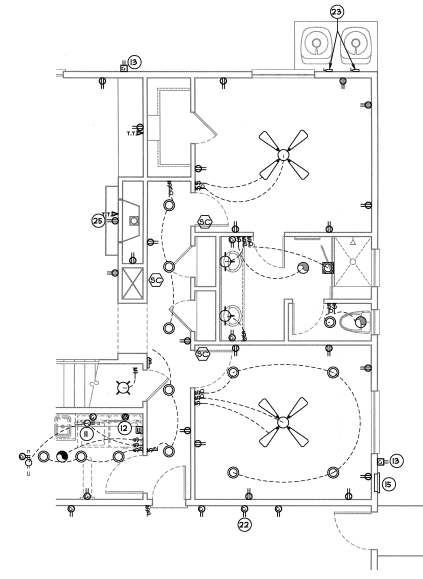
Symbol	Date	Comments	By
▲			
▲			
▲			



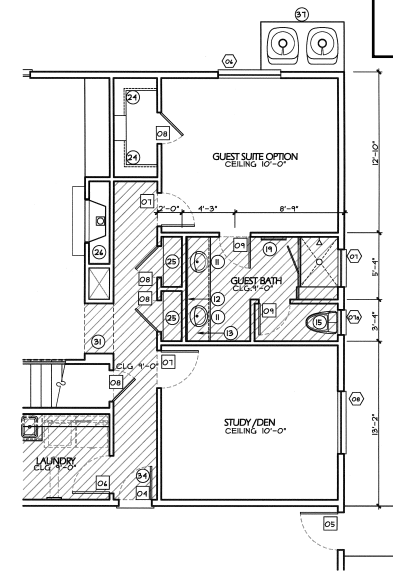
GUEST SUITE / STUDY PLUMBING PLAN  
 SEE MAIN PLANS FOR KEYNOTES AND STANDARD FINISHING



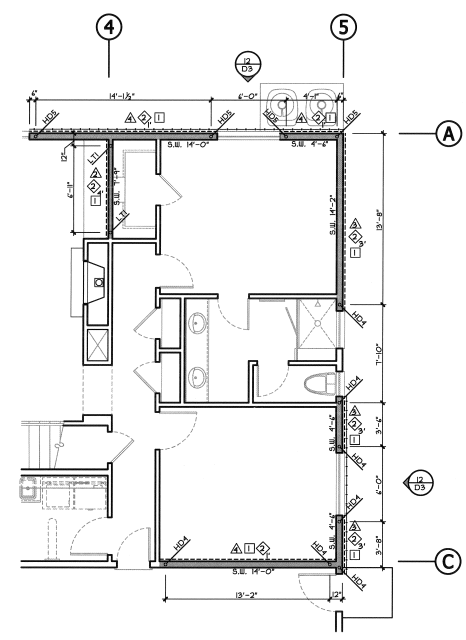
GUEST SUITE / STUDY MECHANICAL PLAN  
 SEE MAIN PLANS FOR KEYNOTES AND STANDARD FINISHING



GUEST SUITE / STUDY ELECTRICAL PLAN  
 SEE MAIN PLANS FOR KEYNOTES AND STANDARD FINISHING



GUEST SUITE / STUDY OPTION  
 SEE MAIN PLANS FOR KEYNOTES AND STANDARD FINISHING  
 USES STANDARD FIRE SPRINKLER PLAN



GUEST SUITE / STUDY SHEARWALLS  
 SEE MAIN PLANS FOR KEYNOTES AND STANDARD FINISHING

**GlenEagles Homes**  
 4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

RECEIVED  
 JUN 24 2020  
 CITY OF FRESNO  
 BUILDING & SAFETY SERVICES

CITY OF FRESNO  
 REGULATORY DEPARTMENT  
 BACK CHECKED

CITY OF FRESNO  
 DEVELOPMENT DEPT.  
 # 20  
 JUN 20 2020

A6  
 Sheet Number

AGENDA ITEM NO. 21.



All drawings and written material appearing herein constitute original and unreplicated work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts 653, 627  
 Plot Date: 6/17/2020

Symbol	Date	Comments	By
▲			
▲			
▲			

**GlenEagles Homes**  
 4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS  
 CITY OF FRESNO DEVELOPMENT DEPT.  
 #20 241  
 JUN 30 2020  
**RECEIVED**  
 JUN 24 2020  
 CITY OF FRESNO  
 BUILDING & SAFETY SERVICES

CITY OF FRESNO  
 DEVELOPMENT DEPARTMENT  
 BACK CHECKED  
 DATE: \_\_\_\_\_  
 STRUCTURAL: \_\_\_\_\_  
 BUILDING: \_\_\_\_\_  
 ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_  
 FIRE/IRRIGATION: \_\_\_\_\_  
 PLANNING/DESIGN: \_\_\_\_\_

**A7-A**  
 Sheet Number

ELEVATION KEYNOTES

- 01 EDGE COR. PROF. IS 1/8"-1/2" OR APPROVED
- 02 FIN. METAL FLASHING AND CONT. FLASHING TO BE INSTALLED TO PROTECT FROM WEATHER. SEE DETAILS 1/4" & 1/2" FOR DETAILS OF SEE OR SPECIFICATIONS (TYP.)
- 03 PROVIDE THERMAL BARRIER PROTECTION DOOR FLASHING TO PROTECT FROM WEATHER. SEE DETAILS 1/4" & 1/2" FOR DETAILS OF SEE OR SPECIFICATIONS (TYP.)
- 04 FIN. METAL FLASHING AND CONT. FLASHING TO BE INSTALLED TO PROTECT FROM WEATHER. SEE DETAILS 1/4" & 1/2" FOR DETAILS OF SEE OR SPECIFICATIONS (TYP.)
- 05 PROVIDE THERMAL BARRIER PROTECTION DOOR FLASHING TO PROTECT FROM WEATHER. SEE DETAILS 1/4" & 1/2" FOR DETAILS OF SEE OR SPECIFICATIONS (TYP.)
- 06 PAINTED DECORATIVE SHEET METAL FLUE CAP
- 07 WOOD FRAMED FLUE CHASE. SEE DETAILS 1/4" & 1/2" FOR DETAILS OF SEE OR SPECIFICATIONS (TYP.)
- 08 ILLUMINATED ADDRESS LOCATION
- 09 FINISHED GRADE. SLOPE AWAY FROM BUILDING
- 10 SECOND POINTED CONDENSER. SEE MECHANICAL PLAN
- 11 OPTIONAL HANDED COURED STONE VENEER. PROVIDE TO MATCH EXISTING VENEER LIGHTSIGHT COORD. COORD. WITH EXISTING VENEER COORDS. COORD. WITH EXISTING VENEER COORDS. COORD. WITH EXISTING VENEER COORDS. COORD. WITH EXISTING VENEER COORDS.
- 12 FULL HEIGHT VENEER. RETURN 2'-0" S.W.O.
- 13 ALL WINDOWS TO BE FULL GLAZED W/ FRESH FOR OWNER.
- 14 DECORATIVE PAINTED WOOD SHUTTERS. SEE DETAIL 1/4"
- 15 DECORATIVE VENTS
- 16 DECORATIVE REMOVABLE BROUGHT RON RAIL
- 17 DECORATIVE WOOD BRACKETS



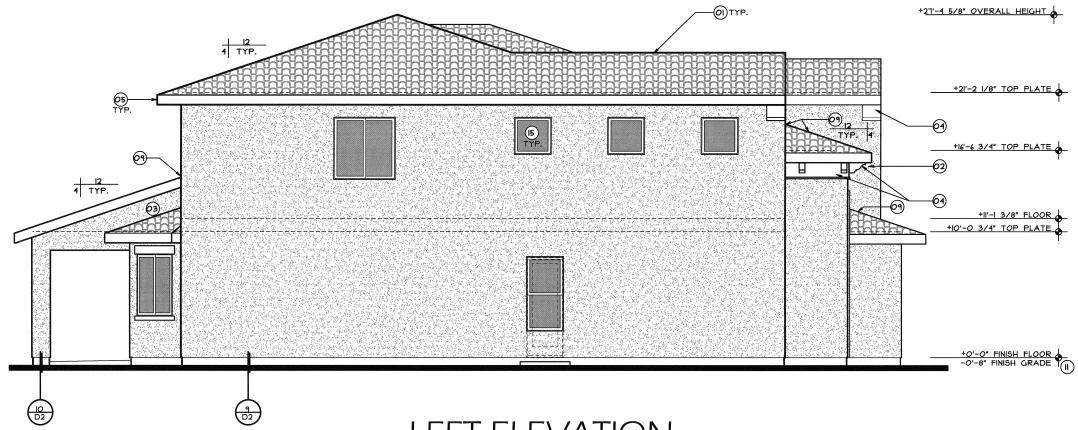
FRONT ELEVATION  
 PLAN OPTIONS SIMILAR



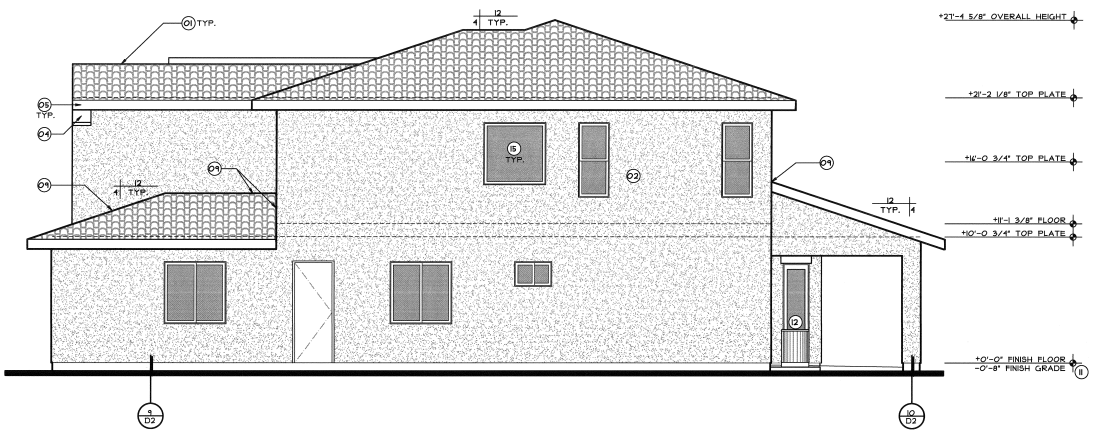
REAR ELEVATION  
 PLAN OPTIONS SIMILAR

ELEVATION A  
**EXTERIOR ELEVATIONS**  
 SCALE: 1/4" = 1'-0"

ELEVATION NOTES  
 1. SEE DETAIL 1/4" FOR DOOR AND WINDOW FLASHING.



LEFT ELEVATION  
PLAN OPTIONS SIMILAR



RIGHT ELEVATION  
PLAN OPTIONS SIMILAR

ELEVATION A  
EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- 01 EXIST. CONC. FOOTING PER PERMITS OR APPROVED
- 02 EXIST. CONCRETE FOUNDATION WALL PER PERMITS OR APPROVED
- 03 EXIST. EXTERIOR FINISH PER PERMITS OR APPROVED
- 04 EXIST. INTERIOR FINISH PER PERMITS OR APPROVED
- 05 EXIST. ROOF PERMITS OR APPROVED
- 06 EXIST. MECHANICAL PER PERMITS OR APPROVED
- 07 EXIST. ELECTRICAL PER PERMITS OR APPROVED
- 08 EXIST. PLUMBING PER PERMITS OR APPROVED
- 09 EXIST. PAINT PER PERMITS OR APPROVED
- 10 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 11 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 12 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 13 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 14 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 15 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 16 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 17 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 18 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 19 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 20 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 21 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 22 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 23 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 24 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 25 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 26 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 27 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 28 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 29 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 30 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 31 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 32 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 33 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 34 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 35 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 36 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 37 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 38 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 39 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 40 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 41 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 42 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 43 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 44 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 45 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 46 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 47 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 48 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 49 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 50 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 51 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 52 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 53 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 54 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 55 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 56 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 57 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 58 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 59 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 60 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 61 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 62 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 63 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 64 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 65 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 66 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 67 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 68 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 69 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 70 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 71 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 72 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 73 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 74 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 75 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 76 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 77 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 78 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 79 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 80 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 81 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 82 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 83 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 84 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 85 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 86 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 87 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 88 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 89 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 90 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 91 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 92 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 93 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 94 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 95 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 96 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 97 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 98 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 99 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED
- 100 EXIST. ASPHALT DRIVE PER PERMITS OR APPROVED

Eddie L. Caldera

AGENDA ITEM NO. 21.



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts 6153, 6238, 6275  
 Plot Date: 6/11/2020

Symbol	Date	Comments	By
△			
△			
△			

**GlenEagles Homes**  
 4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

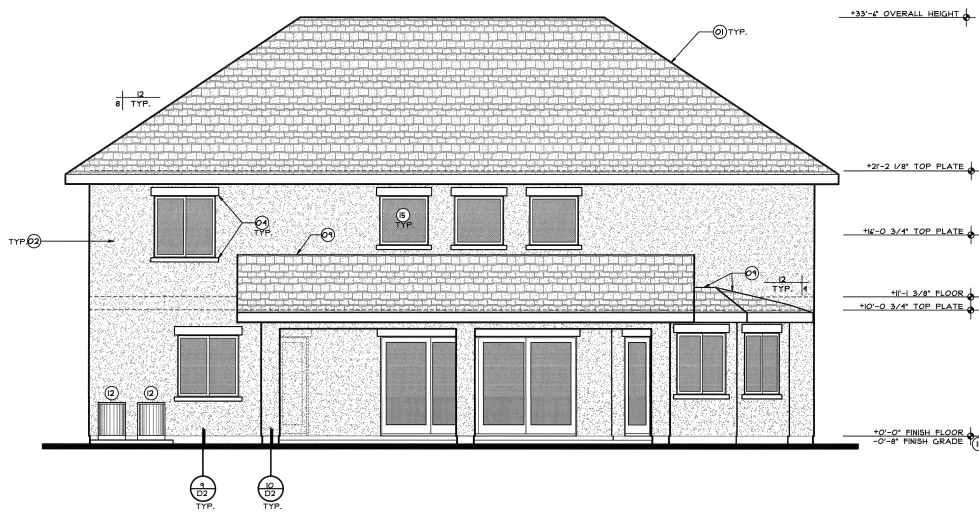
RECEIVED  
 JUN 24 2020  
 CITY OF FRESNO  
 BUILDING & SAFETY SERVICES  
 CITY OF FRESNO DEVELOPMENT DEPT.  
 #20  
 JUL 8 0 2020 241  
 CITY OF FRESNO  
 BACK CHECKED

A8-A

Sheet Number



FRONT ELEVATION  
PLAN OPTIONS SIMILAR



REAR ELEVATION  
PLAN OPTIONS SIMILAR

ELEVATION B  
EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- 01 EDGE COOL, FRONT T.A. SEE 202 OR APPROVED
- 02 FINISH GRADE TO BE DETERMINED BY OWNER
- 03 FINISH GRADE TO BE DETERMINED BY OWNER
- 04 FINISH GRADE TO BE DETERMINED BY OWNER
- 05 FINISH GRADE TO BE DETERMINED BY OWNER
- 06 FINISH GRADE TO BE DETERMINED BY OWNER
- 07 FINISH GRADE TO BE DETERMINED BY OWNER
- 08 FINISH GRADE TO BE DETERMINED BY OWNER
- 09 FINISH GRADE TO BE DETERMINED BY OWNER
- 10 FINISH GRADE TO BE DETERMINED BY OWNER
- 11 FINISH GRADE TO BE DETERMINED BY OWNER
- 12 FINISH GRADE TO BE DETERMINED BY OWNER
- 13 FINISH GRADE TO BE DETERMINED BY OWNER
- 14 FINISH GRADE TO BE DETERMINED BY OWNER
- 15 FINISH GRADE TO BE DETERMINED BY OWNER
- 16 FINISH GRADE TO BE DETERMINED BY OWNER
- 17 FINISH GRADE TO BE DETERMINED BY OWNER
- 18 FINISH GRADE TO BE DETERMINED BY OWNER
- 19 FINISH GRADE TO BE DETERMINED BY OWNER
- 20 FINISH GRADE TO BE DETERMINED BY OWNER
- 21 FINISH GRADE TO BE DETERMINED BY OWNER
- 22 FINISH GRADE TO BE DETERMINED BY OWNER
- 23 FINISH GRADE TO BE DETERMINED BY OWNER
- 24 FINISH GRADE TO BE DETERMINED BY OWNER
- 25 FINISH GRADE TO BE DETERMINED BY OWNER
- 26 FINISH GRADE TO BE DETERMINED BY OWNER
- 27 FINISH GRADE TO BE DETERMINED BY OWNER
- 28 FINISH GRADE TO BE DETERMINED BY OWNER
- 29 FINISH GRADE TO BE DETERMINED BY OWNER
- 30 FINISH GRADE TO BE DETERMINED BY OWNER
- 31 FINISH GRADE TO BE DETERMINED BY OWNER
- 32 FINISH GRADE TO BE DETERMINED BY OWNER
- 33 FINISH GRADE TO BE DETERMINED BY OWNER
- 34 FINISH GRADE TO BE DETERMINED BY OWNER
- 35 FINISH GRADE TO BE DETERMINED BY OWNER
- 36 FINISH GRADE TO BE DETERMINED BY OWNER
- 37 FINISH GRADE TO BE DETERMINED BY OWNER
- 38 FINISH GRADE TO BE DETERMINED BY OWNER
- 39 FINISH GRADE TO BE DETERMINED BY OWNER
- 40 FINISH GRADE TO BE DETERMINED BY OWNER
- 41 FINISH GRADE TO BE DETERMINED BY OWNER
- 42 FINISH GRADE TO BE DETERMINED BY OWNER
- 43 FINISH GRADE TO BE DETERMINED BY OWNER
- 44 FINISH GRADE TO BE DETERMINED BY OWNER
- 45 FINISH GRADE TO BE DETERMINED BY OWNER
- 46 FINISH GRADE TO BE DETERMINED BY OWNER
- 47 FINISH GRADE TO BE DETERMINED BY OWNER
- 48 FINISH GRADE TO BE DETERMINED BY OWNER
- 49 FINISH GRADE TO BE DETERMINED BY OWNER
- 50 FINISH GRADE TO BE DETERMINED BY OWNER
- 51 FINISH GRADE TO BE DETERMINED BY OWNER
- 52 FINISH GRADE TO BE DETERMINED BY OWNER
- 53 FINISH GRADE TO BE DETERMINED BY OWNER
- 54 FINISH GRADE TO BE DETERMINED BY OWNER
- 55 FINISH GRADE TO BE DETERMINED BY OWNER
- 56 FINISH GRADE TO BE DETERMINED BY OWNER
- 57 FINISH GRADE TO BE DETERMINED BY OWNER
- 58 FINISH GRADE TO BE DETERMINED BY OWNER
- 59 FINISH GRADE TO BE DETERMINED BY OWNER
- 60 FINISH GRADE TO BE DETERMINED BY OWNER
- 61 FINISH GRADE TO BE DETERMINED BY OWNER
- 62 FINISH GRADE TO BE DETERMINED BY OWNER
- 63 FINISH GRADE TO BE DETERMINED BY OWNER
- 64 FINISH GRADE TO BE DETERMINED BY OWNER
- 65 FINISH GRADE TO BE DETERMINED BY OWNER
- 66 FINISH GRADE TO BE DETERMINED BY OWNER
- 67 FINISH GRADE TO BE DETERMINED BY OWNER
- 68 FINISH GRADE TO BE DETERMINED BY OWNER
- 69 FINISH GRADE TO BE DETERMINED BY OWNER
- 70 FINISH GRADE TO BE DETERMINED BY OWNER
- 71 FINISH GRADE TO BE DETERMINED BY OWNER
- 72 FINISH GRADE TO BE DETERMINED BY OWNER
- 73 FINISH GRADE TO BE DETERMINED BY OWNER
- 74 FINISH GRADE TO BE DETERMINED BY OWNER
- 75 FINISH GRADE TO BE DETERMINED BY OWNER
- 76 FINISH GRADE TO BE DETERMINED BY OWNER
- 77 FINISH GRADE TO BE DETERMINED BY OWNER
- 78 FINISH GRADE TO BE DETERMINED BY OWNER
- 79 FINISH GRADE TO BE DETERMINED BY OWNER
- 80 FINISH GRADE TO BE DETERMINED BY OWNER
- 81 FINISH GRADE TO BE DETERMINED BY OWNER
- 82 FINISH GRADE TO BE DETERMINED BY OWNER
- 83 FINISH GRADE TO BE DETERMINED BY OWNER
- 84 FINISH GRADE TO BE DETERMINED BY OWNER
- 85 FINISH GRADE TO BE DETERMINED BY OWNER
- 86 FINISH GRADE TO BE DETERMINED BY OWNER
- 87 FINISH GRADE TO BE DETERMINED BY OWNER
- 88 FINISH GRADE TO BE DETERMINED BY OWNER
- 89 FINISH GRADE TO BE DETERMINED BY OWNER
- 90 FINISH GRADE TO BE DETERMINED BY OWNER
- 91 FINISH GRADE TO BE DETERMINED BY OWNER
- 92 FINISH GRADE TO BE DETERMINED BY OWNER
- 93 FINISH GRADE TO BE DETERMINED BY OWNER
- 94 FINISH GRADE TO BE DETERMINED BY OWNER
- 95 FINISH GRADE TO BE DETERMINED BY OWNER
- 96 FINISH GRADE TO BE DETERMINED BY OWNER
- 97 FINISH GRADE TO BE DETERMINED BY OWNER
- 98 FINISH GRADE TO BE DETERMINED BY OWNER
- 99 FINISH GRADE TO BE DETERMINED BY OWNER
- 100 FINISH GRADE TO BE DETERMINED BY OWNER

ELEVATION NOTES

1. SEE DETAIL 2/2 FOR DOOR AND WINDOW FLASHING.

Eddie L. Caldera

AGENDA ITEM NO. 21.



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts 653, 622  
Plot Date: 4/17/2020

Symbol	Date	Comments	By
▲			
▲			
▲			
▲			

**GlenEagles Homes**  
4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

RECEIVED  
JUN 24 2020

CITY OF FRESNO  
BUILDINGS SAFETY SERVICES

#20 BY 241

JUL 30 2020

CITY OF FRESNO  
BUILDINGS SAFETY SERVICES  
BACK CHECKED

DATE: \_\_\_\_\_

STRUCTURAL: \_\_\_\_\_

MECHANICAL: \_\_\_\_\_

ELECTRICAL: \_\_\_\_\_

PLUMBING: \_\_\_\_\_

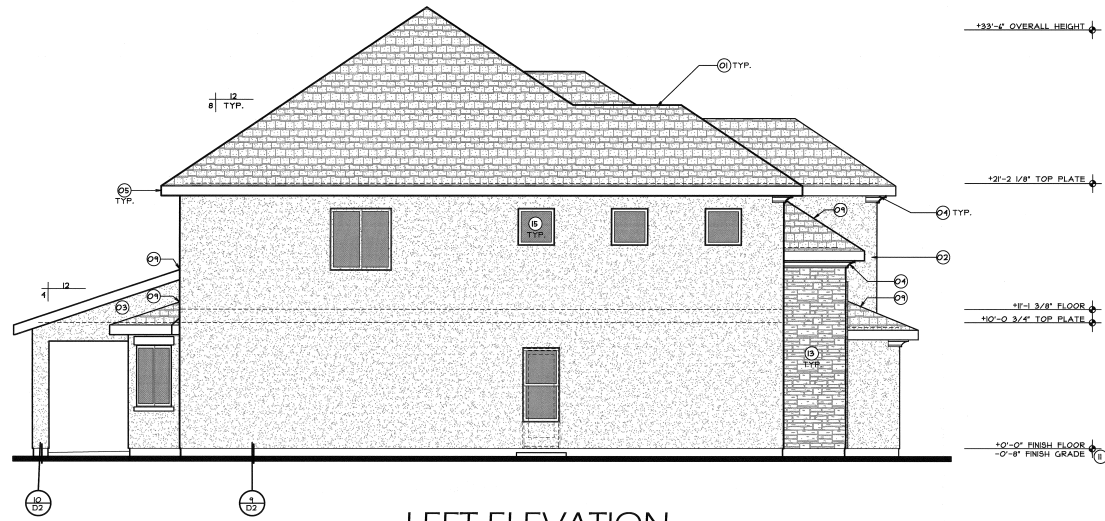
PROJECT DEVL: \_\_\_\_\_

DATE: \_\_\_\_\_

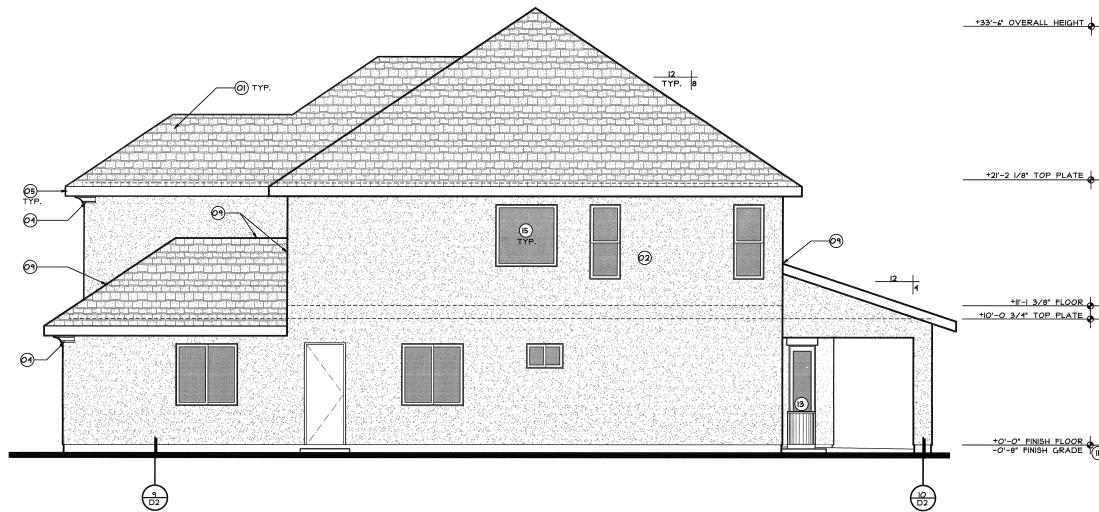
PLANNING/DESIGN: \_\_\_\_\_

A7-B

Sheet Number



LEFT ELEVATION  
PLAN OPTIONS SIMILAR



RIGHT ELEVATION  
PLAN OPTIONS SIMILAR

ELEVATION B  
EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- 1 EDGE COPIES FROM 14.000-000 OR APPROVED
- 2 ENTRY CANOPY PER 2018 IBC SECTION 1003.1
- 3 REMOVE THERMAL BARRIER PROTECTION DOOR
- 4 200' PERIODIC INSULATION FOR OVERHANGS
- 5 200' PERIODIC INSULATION FOR OVERHANGS
- 6 GABLE END VENT. REFER TO ROOF FRAMING PLAN
- 7 WOOD FRAMED FLUE CHASE. SEE DETAILS 1/201
- 8 PAINTED DECORATIVE SHEET METAL FLUE CAP
- 9 1/2" SHEET METAL FLASHING AND CORNER FLASHING
- 10 ELUMINATED ADDRESS LOCATION
- 11 FINISHED GRADE. SLOPE AWAY FROM BUILDING
- 12 SECOND POINTED CONDENSER. SEE MECHANICAL
- 13 SETPOINT. HANG COATED STONE VENTERS
- 14 FULL HEIGHT VENTERS. RETURN 2'-0" U.S.G.
- 15 ALL WINDOWS TO BE FULL GLAZED w/ FINISH PER OWNER
- 16 DECORATIVE PAINTED WOOD SHUTTERS. SEE DETAIL 1/201
- 17 DECORATIVE VENTS
- 18 DECORATIVE REMOVABLE BROUGHT IRON RAIL
- 19 DECORATIVE WOOD BRACKETS

Eddie L. Caldera

AGENDA ITEM NO. 21.



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts 653, 622  
Plot Date: 6/17/2020

Symbol	Date	Comments	By
▲			
▲			
▲			

**GlenEagles Homes**  
4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

#20  
JUL 30 2020 241  
RECEIVED  
JUN 24 2020  
CITY OF FRESNO  
BUILDING & SAFETY SERVICES

CITY OF FRESNO  
DEVELOPMENT DEPARTMENT  
BACK CHECKED

DATE \_\_\_\_\_  
STRUCTURAL \_\_\_\_\_  
BUILDING \_\_\_\_\_  
ELECTRICAL \_\_\_\_\_  
PLUMBING \_\_\_\_\_  
FIRE/ALARM \_\_\_\_\_  
GRADING \_\_\_\_\_  
PLANNING/DESIGNING \_\_\_\_\_

A8-B

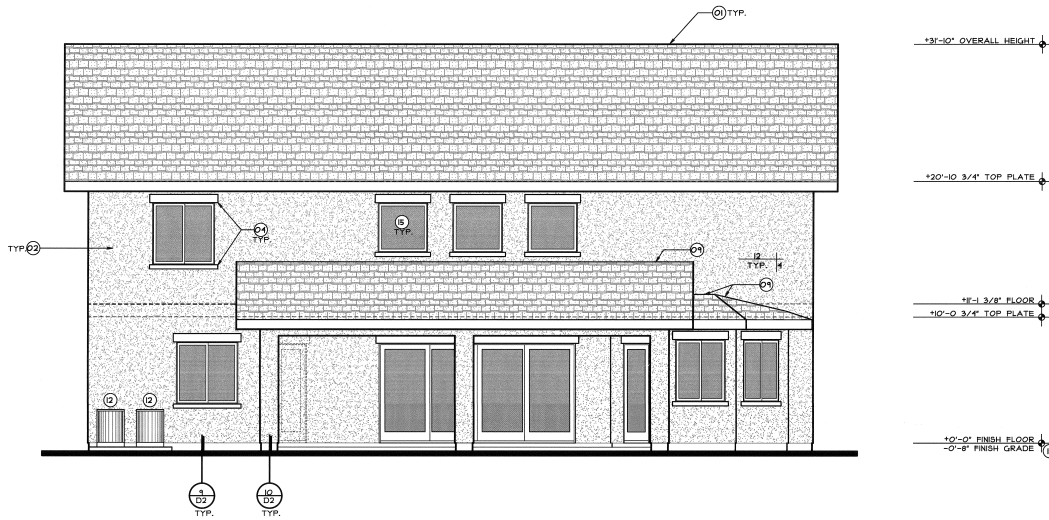
Sheet Number

ELEVATION NOTES  
1. SEE DETAIL 2/21 FOR DOOR AND WINDOW FLASHING.





FRONT ELEVATION  
PLAN OPTIONS SIMILAR



REAR ELEVATION  
PLAN OPTIONS SIMILAR

ELEVATION C  
EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- 01 EDGE COPIES FROM 14.655-102 OR APPROVED
- 02 SEE DETAIL 2/2 FOR DOOR AND WINDOW FLASHING
- 03 FINISH: TYPICAL SHOWN
- 04 FINISH: TYPICAL SHOWN
- 05 FINISH: TYPICAL SHOWN
- 06 FINISH: TYPICAL SHOWN
- 07 FINISH: TYPICAL SHOWN
- 08 FINISH: TYPICAL SHOWN
- 09 FINISH: TYPICAL SHOWN
- 10 FINISH: TYPICAL SHOWN
- 11 FINISH: TYPICAL SHOWN
- 12 FINISH: TYPICAL SHOWN
- 13 FINISH: TYPICAL SHOWN
- 14 FINISH: TYPICAL SHOWN
- 15 FINISH: TYPICAL SHOWN
- 16 FINISH: TYPICAL SHOWN
- 17 FINISH: TYPICAL SHOWN
- 18 FINISH: TYPICAL SHOWN
- 19 FINISH: TYPICAL SHOWN
- 20 FINISH: TYPICAL SHOWN
- 21 FINISH: TYPICAL SHOWN
- 22 FINISH: TYPICAL SHOWN
- 23 FINISH: TYPICAL SHOWN
- 24 FINISH: TYPICAL SHOWN
- 25 FINISH: TYPICAL SHOWN

AGENDA ITEM NO. 21.



All drawings and written materials appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts 653, 623  
Plot Date: 6/17/2020

Symbol	Date	Comments	By
▲			
▲			
▲			

**GlenEagles Homes**  
4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

RECEIVED  
JUN 24 2020  
CITY OF FRESNO  
BUILDING & SAFETY SERVICES  
CITY OF FRESNO DEVELOPMENT DEPT.  
#20  
JUL 30 2020  
BY  
CITY OF FRESNO  
BACK CHECKED

A7-C

Sheet Number

AGENDA ITEM NO. 21.



All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated without written consent of the Architect.

Project Number: 4446 Standard Plan Tracts 453, 623  
 Plot Date: 4/17/2020

Symbol	Date	Comments	By
▲			
▲			
▲			

**GlenEagles Homes**  
 4446 Standard Plan Tracts 6153, 6238, 6275  
*A Tradition Like No Other*

APPROVAL STAMPS

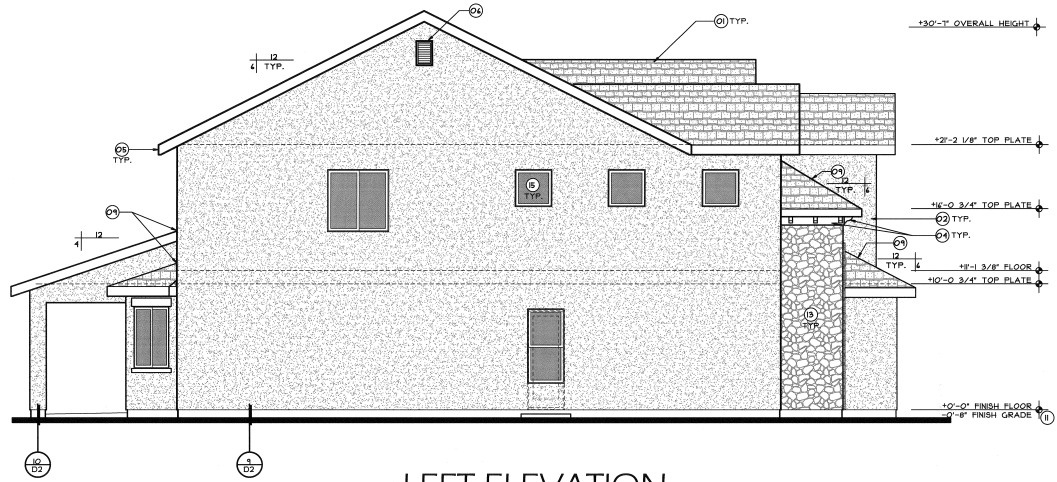
RECEIVED  
 JUN 24 2020  
 CITY OF FRESNO  
 BUILDING & SAFETY SERVICES  
 STANDING PLAN  
 CITY OF FRESNO DEVELOPMENT DEPT.  
 # 20 241  
 DATE: JUL 9 9 2020  
 CITY OF FRESNO  
 DEPT. OF PERMITS  
 BACK CHECKED

**A8-C**

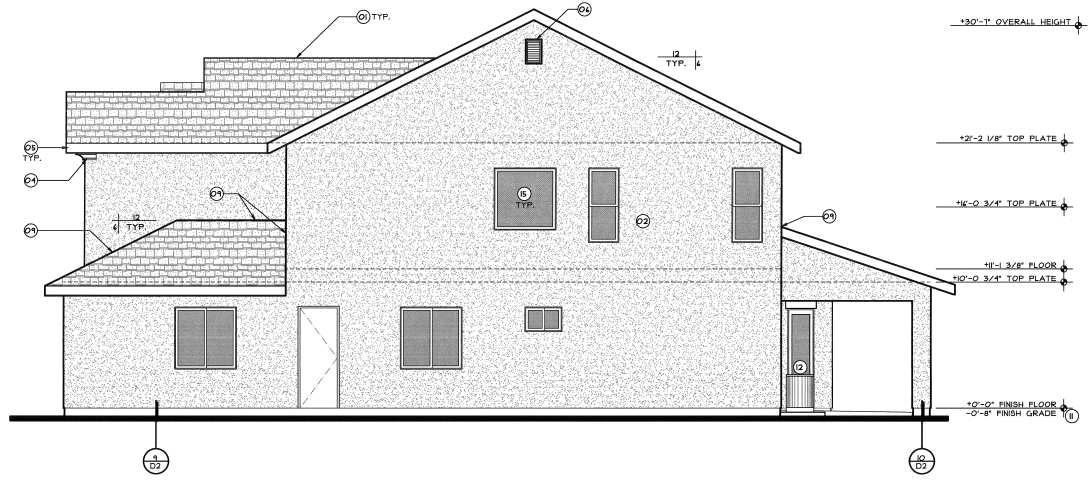
Sheet Number

ELEVATION KEYNOTES

- 01 GABLE END, REFER TO DETAIL 2/01 FOR APPROVED BRACKETS OF IRON RAIL
- 02 PROVIDE THERMAL BARRIERS PROTECTION DOG LEGS, REFER TO DETAIL 2/01 FOR APPROVED SHEET BLOCK, COMPLY WITH 2018 IRC TABLES
- 03 SPECIFICATIONS (TYP) PROVIDE THERMAL BARRIERS PROTECTION DOG LEGS, REFER TO DETAIL 2/01 FOR APPROVED SHEET BLOCK, COMPLY WITH 2018 IRC TABLES
- 04 DECORATIVE SHUTTERS, REFER TO DETAIL 2/01 FOR APPROVED SHEET BLOCK, COMPLY WITH 2018 IRC TABLES
- 05 2x4, 2x6, 2x8, 2x10, 2x12, 2x14, 2x16, 2x18, 2x20, 2x22, 2x24, 2x26, 2x28, 2x30, 2x32, 2x34, 2x36, 2x38, 2x40, 2x42, 2x44, 2x46, 2x48, 2x50, 2x52, 2x54, 2x56, 2x58, 2x60, 2x62, 2x64, 2x66, 2x68, 2x70, 2x72, 2x74, 2x76, 2x78, 2x80, 2x82, 2x84, 2x86, 2x88, 2x90, 2x92, 2x94, 2x96, 2x98, 2x100
- 06 GABLE END VENT, REFER TO ROOF FRAMING PLAN
- 07 ROOF FRAMED FLUE CHASE, SEE DETAILS 2/01 & 2/02
- 08 PAINTED DECORATIVE SHEET METAL FLUE CAP
- 09 2x4 SHEET METAL FLASHING AND CORNER FLASHING, REFER TO DETAIL 2/01 FOR APPROVED BRACKETS
- 10 ELUMINATED ADDRESS LOCATION
- 11 FINISH GRADE, SLOPE AWAY FROM BUILDING
- 12 ROUND MOUNTED CONDENSER, SEE MECHANICAL
- 13 OPTIONAL MANUFACTURED STONE VENEER, PROVIDE 1/2" MINIMUM OVERLAP, 1/4" MINIMUM JOINTS, REFER TO DETAIL 2/01 FOR APPROVED SHEET BLOCK, COMPLY WITH 2018 IRC TABLES
- 14 FULL HEIGHT VENER, REFER TO 2-01 UNO.
- 15 ALL WINDOWS TO BE DUAL GLAZED w/ PRESH PER OWNER.
- 16 DECORATIVE PAINTED WOOD SHUTTERS, SEE DETAIL
- 17 DECORATIVE VENTS
- 18 DECORATIVE REMOVABLE BROUGHT IRON RAIL
- 19 DECORATIVE WOOD BRACKETS



LEFT ELEVATION  
 PLAN OPTIONS SIMILAR



RIGHT ELEVATION  
 PLAN OPTIONS SIMILAR

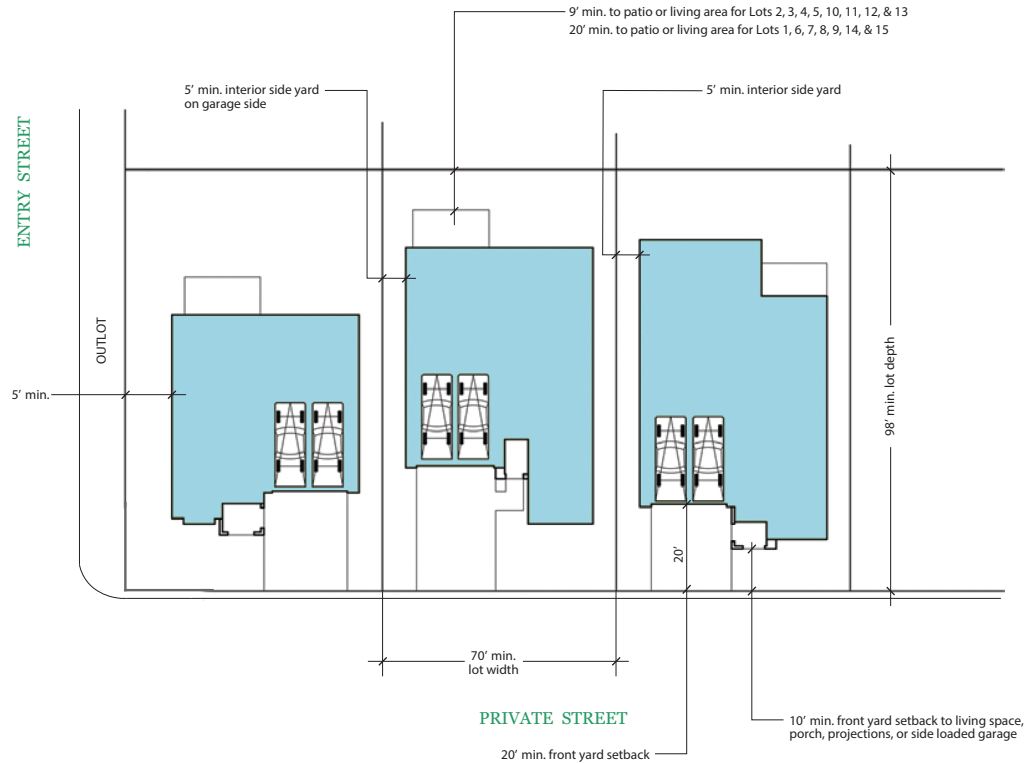
ELEVATION C  
 EXTERIOR ELEVATIONS  
 SCALE: 1/4" = 1'-0"

ELEVATION NOTES  
 1. SEE DETAIL 2/01 FOR DOOR AND WINDOW FLASHING.

# Residential Land Use Development Standards

TRACT 6403 – SEC OF GETTYSBURG & ARMSTRONG

LAND USE		DEVELOPMENT STANDARDS	
<b>SINGLE-FAMILY RESIDENTIAL</b>			
	PROPOSED STANDARD	NOTES	
<b>DESIGNATION</b>			
Zone District	R-1-B		
GP Density Range	2.1 - 4.0 du/ac	Low Density Residential	
Dwelling Units	15		
<b>BUILDING INTENSITY</b>			
Minimum Lot Area	8,000 sqft	R-1-B is 12,000 sqft min	
Minimum Lot Width	70'	R-1-B is 80' min	
Minimum Lot Depth	98'	R-1-B is 110' min	
Maximum Height	35'	Same as R-1-B	
Curved/Cul-de-sac	60' min	Frontage; R-1-B is 60' min	
Corner Lot	75' min	Lot width; R-1-B is 90' min	
Lot Coverage	55% max	20% increase from R-1-B	
<b>BUILDING SETBACKS</b>			
All setbacks measured from PL.			
Front Yard	10' min	To living space, porch, projections, or side loaded garage	
	20' min	R-1-B is 35'	
Side Yard	5'	R-1-B is 5' min, 20' aggregate	
Street Side	10' min	11' less than R-1-B	
Rear Yard	9' min	For Lots 2, 3, 4, 5, 10, 11, 12, & 13	
	20' min	For Lots 1, 6-9, 14, & 15	
Corner Cut-Off	5' min		
<b>GARAGES/STREETS/PARKING</b>			
Garages	2 covered parking spaces per unit minimum		
Streets	Private		
On-Street Parking	Yes		



The imagery conveys samples of the architectural character intended for these neighborhoods.

## ATTACHMENT 4

NOT TO SCALE

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

AGENDA ITEM NO. 21.

Page 1 of 3

**PUBLIC AGENCY**

KELSEY GEORGE  
PLANNING AND DEVELOPMENT SERVICES  
CITY OF CLOVIS  
1033 FIFTH STREET  
CLOVIS, CA 93612

**DEVELOPER**

GLENEAGLES HOMES - BRAD HERTEL  
11861 N. ALICANTE DRIVE  
FRESNO, CA 93730

PROJECT NO: **6403**

ADDRESS: **2843 ARMSTRONG AVE.**

APN: **552-171-15**

SENT: **April 18, 2022**

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
1G	\$23,701.00	NOR Review *	\$215.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review *	\$600.00	Amount to be submitted with first grading plan submittal.
<b>Total Drainage Fee: \$23,701.00</b>		<b>Total Service Charge: \$815.00</b>		

\* The Development Review Service Charge shown above is associated with CL PDP 2022-001 and is currently proposed to develop in conjunction with this permit. Payment for this entitlement shall satisfy the amount due on the associated permits.

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District’s Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District’s reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/23 based on the site plan submitted to the District on 3/18/22 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**ATTACHMENT 5**

**CL TRACT No. 6403**

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

AGENDA ITEM NO. 21.

Page 2 of 3

CL TRACT No. 6403

Approval of this development shall be conditioned upon compliance with these District Requirements.

1.  a. Drainage from the site shall  
 b. Grading and drainage patterns shall be as identified on Exhibit No. 1  
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
  
2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:  
 Developer shall construct facilities as shown on Exhibit No. 1 as  
 None required.
  
3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:  
 Grading Plan  
 Street Plan  
 Storm Drain Plan  
 Water & Sewer Plan  
 Final Map  
 Drainage Report (to be submitted with tentative map)  
 Other  
 None Required
  
4. Availability of drainage facilities:  
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).  
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.  
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.  
 d. See Exhibit No. 2.
  
5. The proposed development:  
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)  
 Does not appear to be located within a flood prone area.
  
6.  The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

AGENDA ITEM NO. 21.

Page 3 of 3

CL TRACT No. 6403

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.



Debbie Campbell  
Design Engineer, RCE

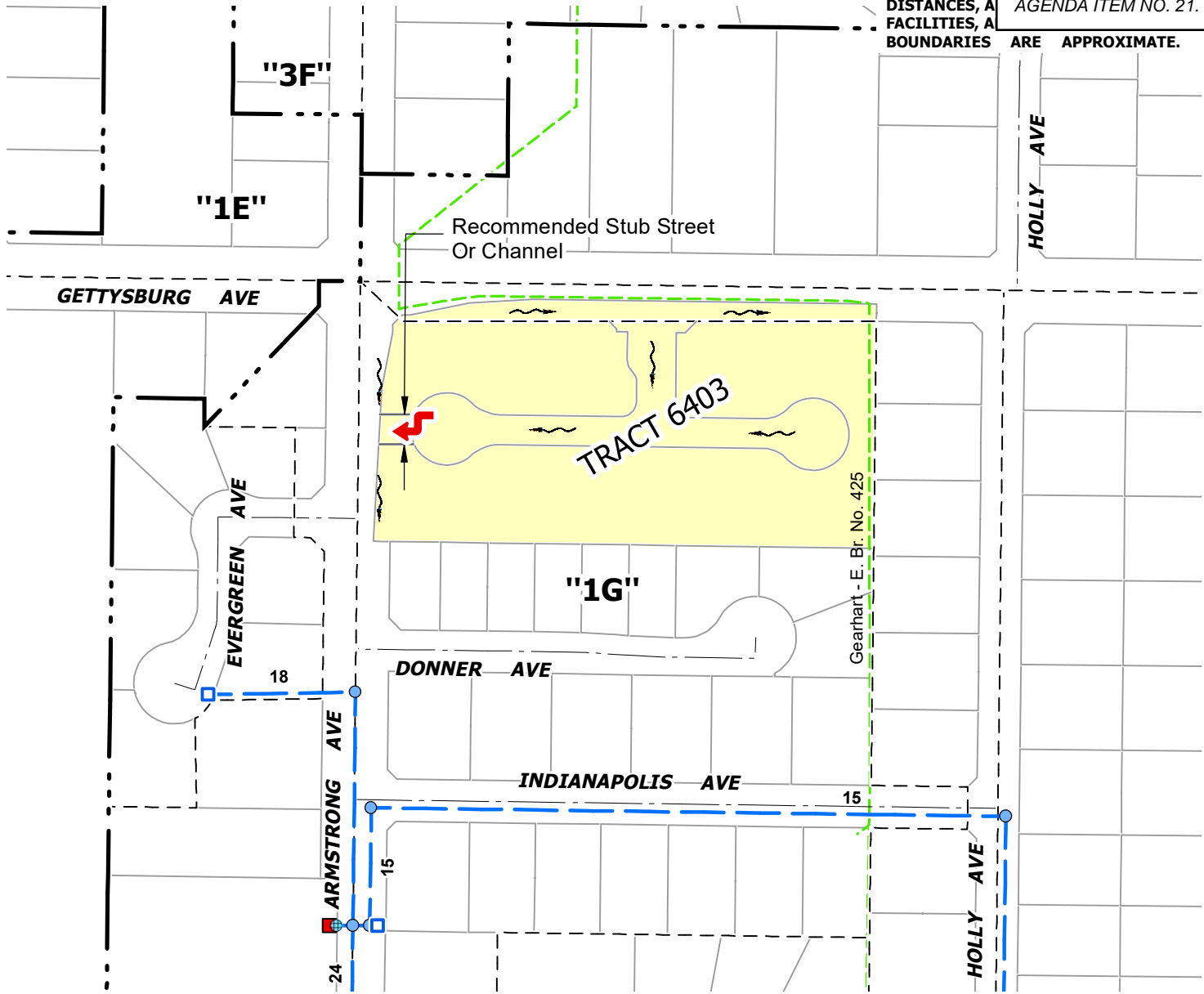
Digitally signed by Debbie Campbell Date: 4/18/2022 9:40:32 AM



Robert Villalobos  
Engineering Tech III

Digitally signed by Robert Villalobos Date: 4/18/2022 9:28:42 AM

NOTE: THIS DISTANCES, A FACILITIES, A BOUNDARIES ARE APPROXIMATE. AGENDA ITEM NO. 21.



**LEGEND**

- Limits Of Tract 6403
- Existing Master Plan Facilities
- Existing Temporary Inlet
- Future Master Plan Inlet
- Inlet Boundary
- Drainage Area Boundary
- Direction Of Drainage
- Existing FID Facilities
- Major Storm Breakover



**TRACT 6403**  
**DRAINAGE AREA "1G"**

**EXHIBIT NO. 1**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT**

## OTHER REQUIREMENTS

### EXHIBIT NO. 2

The District recommends a stub street or channel to the west to Armstrong Avenue, as shown on Exhibit No. 1.

Lot coverage must be provided to the District prior to submittal of improvement plans. The final drainage fee will be calculated commensurate with the lot coverage provided by the developer. If the lot coverage indicates a density higher than Master Planned, mitigation may be required. The lot coverage calculated by the District includes the front yard walkway, sidewalk walkway and the rear yard patio equaling an additional 6% of impervious area in addition to the City's typical lot coverage calculation.

The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.





# City of Clovis

Department of Planning and Development Services  
CITY HALL - 1033 Fifth Street - Clovis, CA 93612

AGENDA ITEM NO. 21.

Distribution Date: 3/18/2022

## PLANNING APPLICATION REQUEST FOR COMMENTS

Project Manager - Kelsey George, Assistant Planner

### PLEASE ROUTE TO:

(In House)

- Planning Division
- Building Division
- Engineering Divisor
- Utilities Division
- Solid Waste Division
- Fire Department
- Police Department
- City Landscape Com
- Legal Description Review
- Other (Specify)
- 

(Out-of-House)

- Fresno Irrigation District
- Fresno Metropolitan Flood Control Dist.
- Pacific Gas & Electric
- AT&T
- Clovis Unified School District
- Cal Trans
- SJV Unified Air Pollution Control Dist.
- State of California Department of Fish and Game
- LAFCO (when annexation is involved)
- County of Fresno Development
- Fresno County Environmental Health

Item(s): TM6403 Location: 2843 Armstrong Ave -SEC of Armstrong & Gettysburg Avenues

APN: 552-171-15 Zoning: R-1-B General Plan: Low Density Res. RHNA Site: \_\_\_\_\_

Name of Applicant: Gleneagles Homes -Brad Hertel Phone/Email: 559)436-1700/ bradh@garymcdonaldhomes.com

Applicant Address: 11861 N. Alicante Drive City: Fresno State: CA Zip: 93730

Previously Reviewed Under DRC: DRC21-00038 Or Other Entitlement: \_\_\_\_\_

Project Description: TM6403; A request to approve a vesting tentative tract map for a 15-lot single-family residential development for land located at 2843 Armstrong Avenue. Gleneagles Homes, applicant/owner; Harbour & Associates, representative. This entitlement is being processed concurrently with PDP2022-001.

This item is tentatively scheduled for a public hearing to be consi Planning Commission.

The attached information is circulated for your comments. Please attach your comments and recommendations i condition form and return to the project manag 4/8/2022

Please check one below:

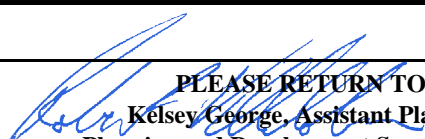
- No Comments  Comment Xe-mailed or saved on: \_\_\_\_\_

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your department They must be legible. Please phrase positively and clearly:

GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

POOR EXAMPLE: "1. Install landscaping."

REVIEWED BY (please sign): \_\_\_\_\_ **4/18/2022**

PLEASE RETURN TO:  
  
**Kelsey George, Assistant Planner**  
 Planning and Development Services Dept.  
 1033 Fifth St., Clovis, CA 93612  
 Phone: 324-2338 Fax: 324-2866



2907 S. Maple Avenue  
Fresno, California 93725-2208  
Telephone: (559) 233-7161  
Fax: (559) 233-8227

**CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.**

March 31, 2022

Kelsey George  
Planning Division  
City of Clovis  
1033 Fifth Street  
Clovis, CA 93612

RE: Tract Map 6403  
S/E Gettysburg and Armstrong avenues

Dear Ms. George:

The Fresno Irrigation District (FID) has reviewed Tract Map 6403 for which the applicant proposes a 15-lot single-family residential development, APN: 552-171-15. This entitlement is being processed concurrently with PDP2022-001. FID has the following comments:

1. FID previously reviewed and commented on the subject property on August 31, 2021 as Development Review Committee Application No. DRC-21-00038. Those comments and conditions still apply and copy has been attached for your reference.

Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions, please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or [clundeen@fresnoirrigation.com](mailto:clundeen@fresnoirrigation.com).

Sincerely,

Laurence Kimura, P.E.  
Chief Engineer

Attachment



2907 S. Maple Avenue  
 Fresno, California 93725-2208  
 Telephone: (559) 233-7161  
 Fax: (559) 233-8227

**CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.**

August 31, 2021

Kelsey George  
 Planning Division  
 City of Clovis  
 1033 Fifth Street  
 Clovis, CA 93612

RE: Development Review Committee Application No. DRC-21-00038  
 S/E Gettysburg and Armstrong avenues

Dear Ms. George:

The Fresno Irrigation District (FID) has reviewed Development Review Committee Application No. DRC-21-00037 for which the applicant proposes a single family residential development, APN: 552-171-15. FID has the following comments:

1. FID does not own, operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. For informational purposes, a privately owned pipeline known as the Gearhart E. Br. No. 425 runs southerly and traverses the northern and eastern portions of the subject property, as shown on the attached FID exhibit map. FID does not own, operate or maintain this private pipeline. FID records indicate this pipeline is active and should be treated as such. FID can supply the City with a list of known users upon request.
3. For informational purposes, FID's Jefferson No. 112 Pipeline runs westerly and crosses Armstrong Avenue approximately 600 feet north of the subject property as shown on the attached FID exhibit map. Should this project include any street and or utility improvements along Armstrong Avenue or in the vicinity of the pipeline, FID requires it review and approve all plans.
4. FID is concerned that the proposed development may negatively impact local groundwater supplies. The area is currently open land with minimal to no water use, supplemented by groundwater pumping. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a conversion from imported surface water to groundwater, this deficit will increase. FID recommends the City of Clovis require the proposed development balance anticipated groundwater use with sufficient recharge of imported

G:\Agencies\Clovis\DRC Meetings\21-00038\21-00038.doc

**BOARD OF DIRECTORS**

President RYAN JACOBSEN Vice-President JERRY PRIETO, JR. CHRISTOPHER WOOLF  
 GEORGE PORTER GREGORY BEBERIAN General Manager BILL STRETCH

Kelsey George  
RE: DRC-21-00038  
August 30, 2021  
Page 2 of 2

surface water in order to preclude increasing the area's existing groundwater overdraft problem..

5. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Clovis are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Clovis should consider the impacts of the development on the City's ability to comply with requirements of SGMA.

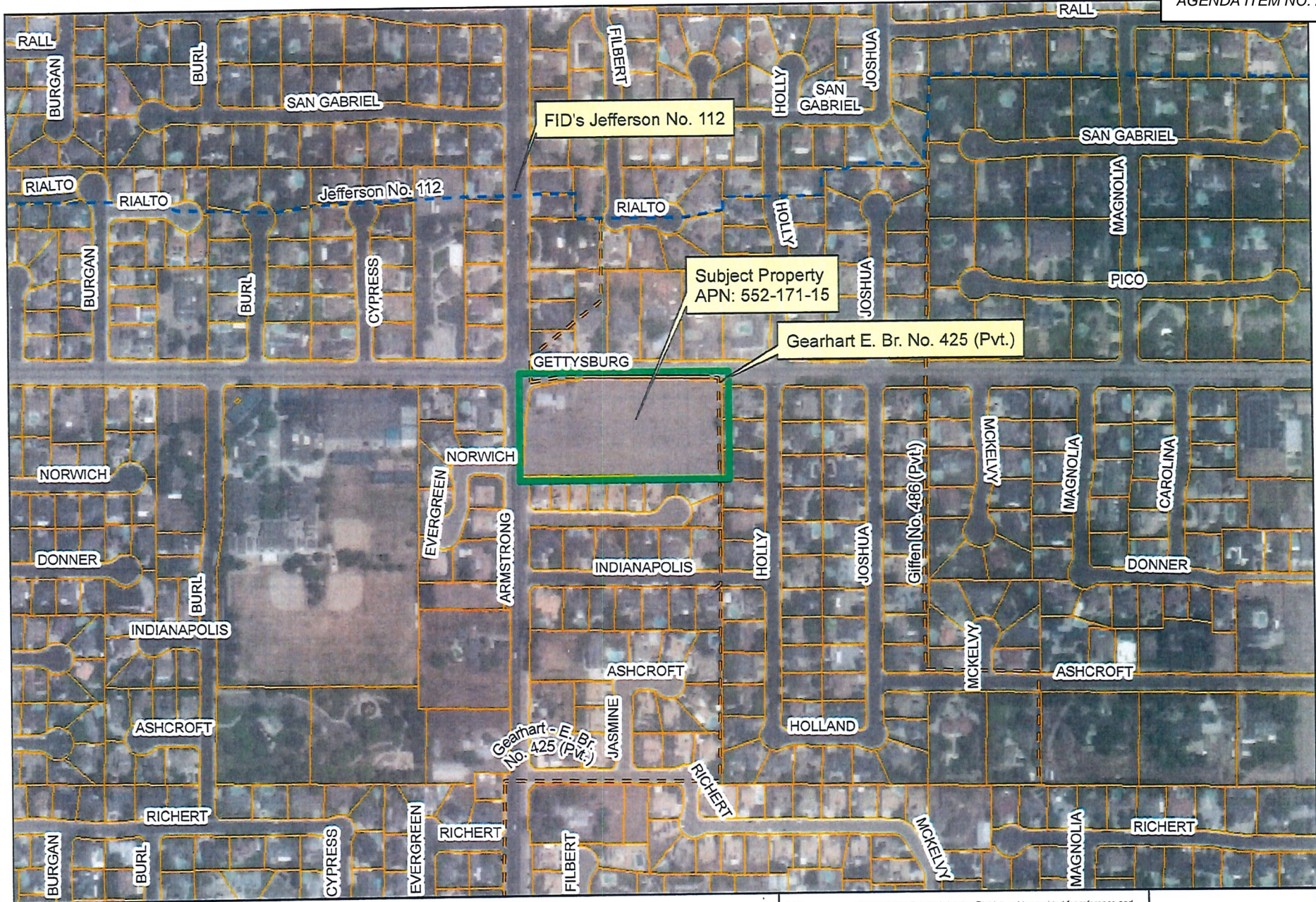
Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or [clundeen@fresnoirrigation.com](mailto:clundeen@fresnoirrigation.com).

Sincerely,



Laurence Kimura, P.E.  
Chief Engineer

Attachment

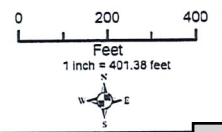


FRESNO IRRIGATION DISTRICT

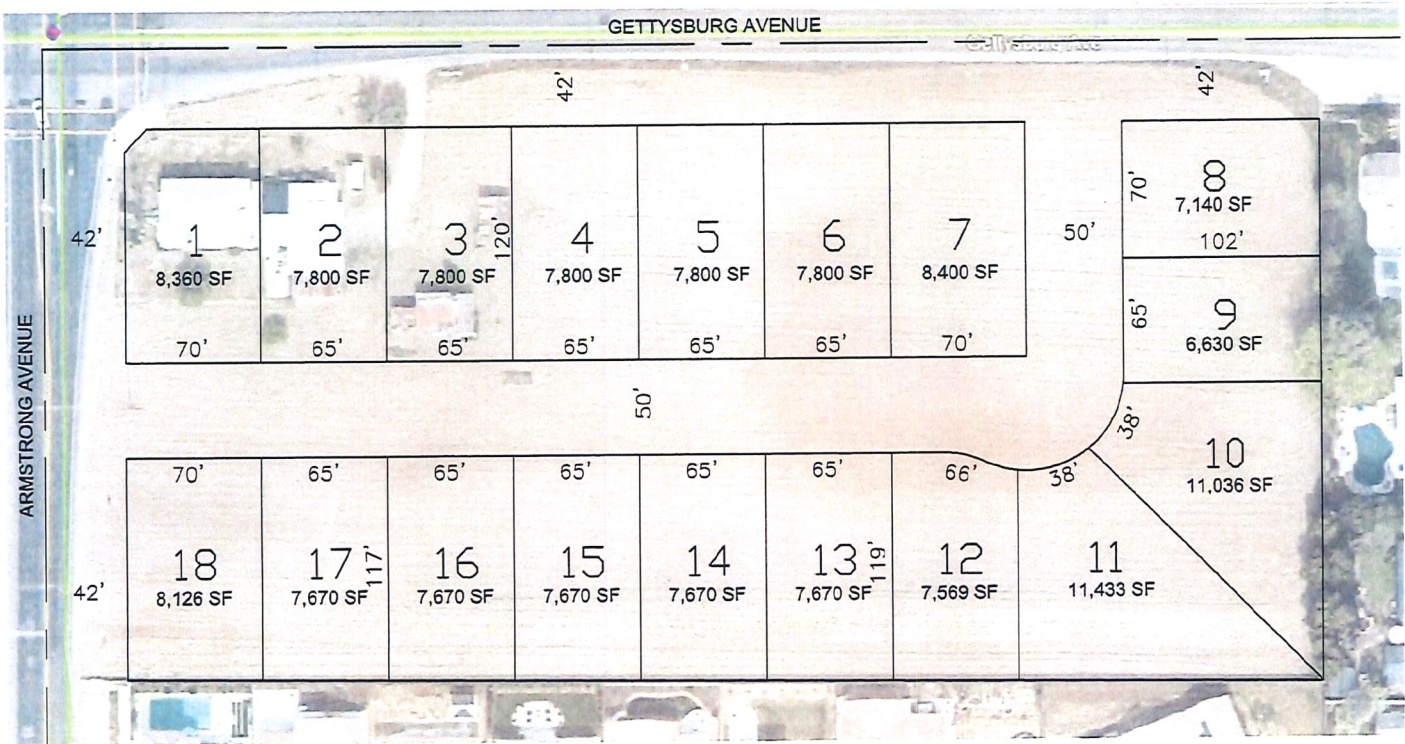
- Legend**
- FID Canal
  - FID Pipeline
  - Stream Group
  - FID Boundary
  - Parcel
  - Private Canal
  - Private Pipeline
  - Other-Creek/River
  - Railroad
  - FMFCD Acquired Basins
  - Abandoned Canal
  - Abandoned Pipeline
  - Other-Pipeline
  - Streets & Hways
  - FMFCD Proposed Basins

This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

Spatial Reference  
 Name: NAD 1983 StatePlane California IV FIPS 0404 Path: G:\Fidgis\20210727 FID Master.mxd







ADDRESS:  
2843 ARMSTRONG AVENUE  
CLOVIS, CA 93611

APN:  
552-171-15

LOT SUMMARY:  
65' x 100' MIN. = 18 Lots

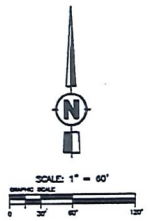
SITE ACREAGE:  
4.5± AC

DENSITY:  
4.00 UNITS/ACRE

EXISTING & PROPOSED USE:  
LOW DENSITY RESIDENTIAL

EXISTING ZONE:  
R-1-E

PROPOSED ZONE:  
R-1



**Harbour & Associates**  
Civil Engineers  
305 Clovis Avenue, Suite 300 • Clovis, California 93612  
(559) 325-7676 • Fax (559) 325-7693 • e-mail [info@harbour-engineers.com](mailto:info@harbour-engineers.com)

DATE: 8-11-21 W.O. #21-052



**City of Clovis**  
 Department of Planning and Development Services  
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **3/18/2022**

**PLANNING APPLICATION REQUEST FOR COMMENTS**  
**Project Manager - Kelsey George, Assistant Planner**

**PLEASE ROUTE TO:**

- |  |  |
|--|--|
| (In House)<br><input checked="" type="checkbox"/> Planning Division<br><input checked="" type="checkbox"/> Building Division<br><input checked="" type="checkbox"/> Engineering Divisor<br><input checked="" type="checkbox"/> Utilities Division<br><input checked="" type="checkbox"/> Solid Waste Divisor<br><input checked="" type="checkbox"/> Fire Department<br><input checked="" type="checkbox"/> Police Department<br><input checked="" type="checkbox"/> City Landscape Com<br><input checked="" type="checkbox"/> Legal Description Review<br><input type="checkbox"/> Other (Specify)<br><input type="checkbox"/> | (Out-of-House)<br><input checked="" type="checkbox"/> Fresno Irrigation District<br><input checked="" type="checkbox"/> Fresno Metropolitan Flood Control Dist.<br><input checked="" type="checkbox"/> Pacific Gas & Electric<br><input checked="" type="checkbox"/> AT&T<br><input checked="" type="checkbox"/> Clovis Unified School District<br><input checked="" type="checkbox"/> Cal Trans<br><input checked="" type="checkbox"/> SJV Unified Air Pollution Control Dist.<br><input checked="" type="checkbox"/> State of California Department of Fish and Game<br><input type="checkbox"/> LAFCO (when annexation is involved)<br><input checked="" type="checkbox"/> County of Fresno Development<br><input checked="" type="checkbox"/> Fresno County Environmental Health |
|--|--|

Item(s): TM6403 Location: 2843 Armstrong Ave -SEC of Armstrong & Gettysburg Avenues

APN: 552-171-15 Zoning: R-1-B General Plan: Low Density Res. RHNA Site: \_\_\_\_\_

Name of Applicant: Gleneagles Homes -Brad Hertel Phone/Email: 559436-1700/ bradh@garymcdonaldhomes.com

Applicant Address: 11861 N. Alicante Drive City: Fresno State: CA Zip: 93730

Previously Reviewed Under DRC: DRC21-00038 Or Other Entitlement: \_\_\_\_\_

Project Description: TM6403; A request to approve a vesting tentative tract map for a 15-lot single-family residential development for land located at 2843 Armstrong Avenue. Gleneagles Homes, applicant/owner; Harbour & Associates, representative. This entitlement is being processed concurrently with PDP2022-001.

This item is tentatively scheduled for a public hearing to be consi Planning Commission.

The attached information is circulated for your comments. Please attach your comments and recommendations i condition form and return to the project manag 4/8/2022

Please check one below:

- No Comments  Comments e-mailed or saved on: \_\_\_\_\_

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your department They must be legible. Please phrase positively and clearly:

GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

POOR EXAMPLE: "1. Install landscaping."

REVIEWED BY (please sign): \_\_\_\_\_

**PLEASE RETURN TO:**  
**Kelsey George, Assistant Planner**  
**Planning and Development Services Dept.**  
**1033 Fifth St., Clovis, CA 93612**  
**Phone: 324-2338 Fax: 324-2866**





**City of Clovis**  
 Department of Planning and Development Services  
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **3/18/2022**

**PLANNING APPLICATION REQUEST FOR COMMENTS**  
**Project Manager - Kelsey George, Assistant Planner**

**PLEASE ROUTE TO:**

- |  |   |
|--|---|
| (In House)   | (Out-of-House)  |
| <input checked="" type="checkbox"/> Planning Division        | <input checked="" type="checkbox"/> Fresno Irrigation District                      |
| <input checked="" type="checkbox"/> Building Division        | <input checked="" type="checkbox"/> Fresno Metropolitan Flood Control Dist.         |
| <input checked="" type="checkbox"/> Engineering Divisor      | <input checked="" type="checkbox"/> Pacific Gas & Electric                          |
| <input checked="" type="checkbox"/> Utilities Division       | <input checked="" type="checkbox"/> AT&T  |
| <input checked="" type="checkbox"/> Solid Waste Divisor      | <input checked="" type="checkbox"/> Clovis Unified School District                  |
| <input checked="" type="checkbox"/> Fire Department          | <input checked="" type="checkbox"/> Cal Trans                                       |
| <input checked="" type="checkbox"/> Police Department        | <input checked="" type="checkbox"/> SJV Unified Air Pollution Control Dist.         |
| <input checked="" type="checkbox"/> City Landscape Com       | <input checked="" type="checkbox"/> State of California Department of Fish and Game |
| <input checked="" type="checkbox"/> Legal Description Review | <input type="checkbox"/> LAFCO (when annexation is involved)                        |
| <input type="checkbox"/> Other (Specify)                     | <input checked="" type="checkbox"/> County of Fresno Development                    |
|  | <input checked="" type="checkbox"/> Fresno County Environmental Health              |

Item(s): PDP2022-001 Location: 2843 Armstrong Ave -SEC of Armstrong & Gettysburg Avenues

APN: 552-171-15 Zoning: R-1-B General Plan: Low Density Res. RHNA Site: \_\_\_\_\_

Name of Applicant: Gleneagles Homes -Brad Hertel Phone/Email: 559)436-1700/ bradh@garymcdonaldhomes.com

Applicant Address: 11861 N. Alicante Drive City: Fresno State: CA Zip: 93730

Previously Reviewed Under DRC: DRC21-00038 Or Other Entitlement: \_\_\_\_\_

Project Description: **TM6403; A planned development permit request for a 15-lot single-family residential development for land located at 2843 Armstrong Avenue. Gleneagles Homes, applicant/owner; Harbour & Associates, representative. \*\*This entitlement is the equivalent of a Planned Residential Development Conditional Use Permit.\*\***

This item is tentatively scheduled for a public hearing to be consi Planning Commission.  
 The attached information is circulated for your comments. Please attach your comments and recommendations i condition form and return to the project manag 4/8/2022

Please check one below:

- No Comments  Comments e-mailed or saved on: \_\_\_\_\_

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your department They must be legible. Please phrase positively and clearly:

GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

POOR EXAMPLE: "1. Install landscaping."

REVIEWED BY (please sign): \_\_\_\_\_

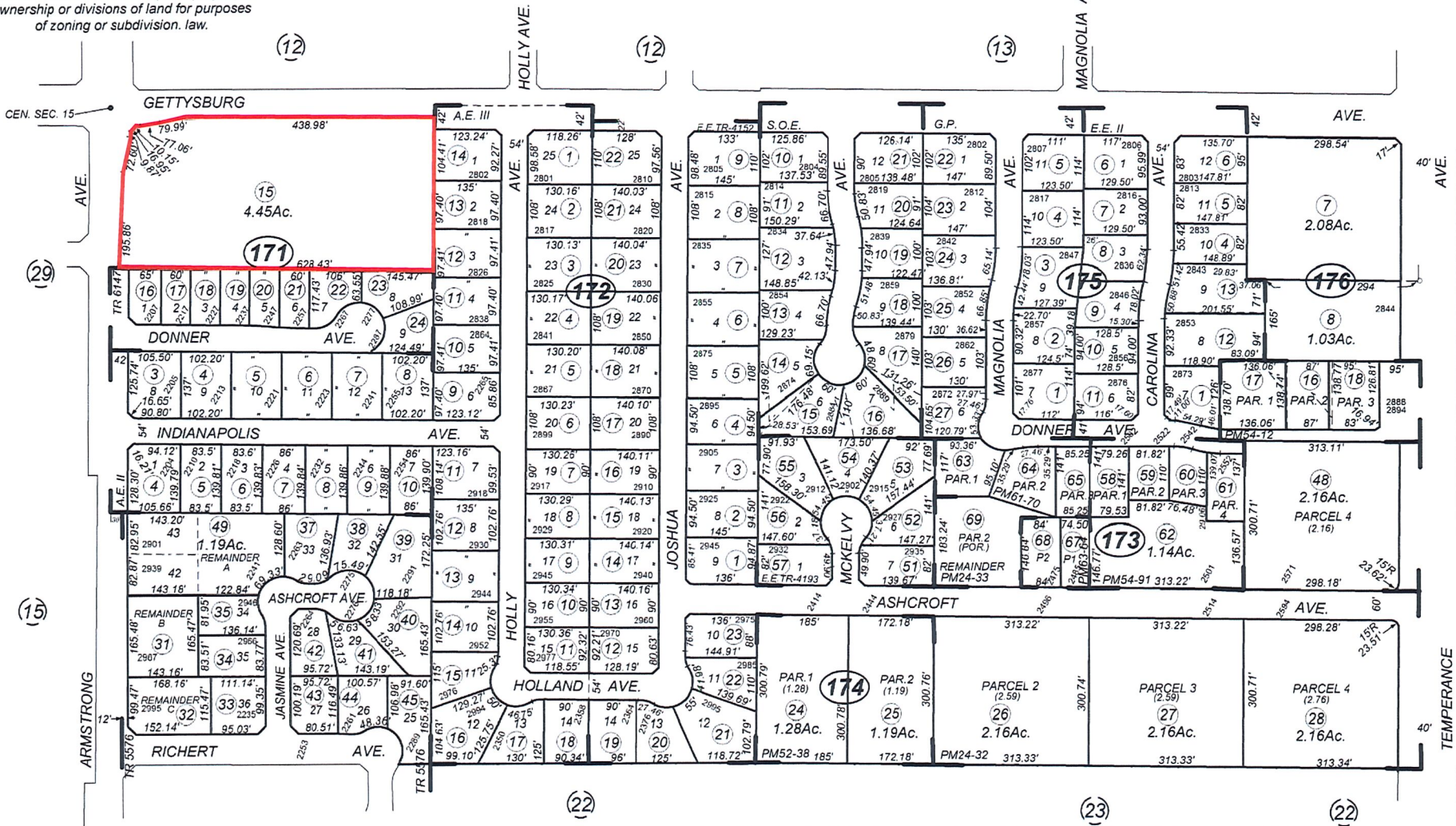
**PLEASE RETURN TO:**  
**Kelsey George, Assistant Planner**  
**Planning and Development Services Dept.**  
**1033 Fifth St., Clovis, CA 93612**  
**Phone: 324-2338 Fax: 324-2866**

POR. SEC. 15, T. 13 S., R. 21 E., M.D.B. & M.

Tax Rate Area 1-043

552-17

-NOTE- This map is for Assessment purposes only. It is not to be construed as portraying legal ownership or divisions of land for purposes of zoning or subdivision. law.



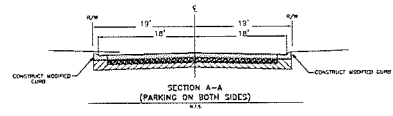
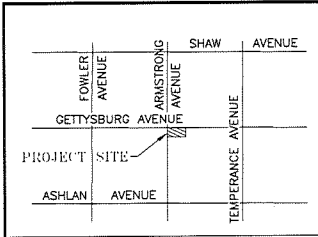
Ashley Estates II - Tr. No.3979-Plat Bk.49, Pg.5  
Ashley Estates III - Tr. No.3961-Plat Bk.49, Pgs.3,4  
Edwards Estates - Tr. No.4193-Plat Bk.51, Pgs.77,78  
Edwards Estates II - Tr. No.4338-Plat Bk.53, Pgs.100-102  
Emerald Estates - Tr. No.4152-Plat Bk.50, Pgs.75,76  
Gettysburg Place - Tract No. 4467, Plat Bk.54, Pgs.42-44

Parcel Map No. 02-12 - Bk.63, Pgs.64 & 65  
Parcel Map No. 2001-2 - Bk.61, Pgs.70,71  
Parcel Map No. 3419 - Bk.24, Pg.32  
Parcel Map No. 3520 - Bk.24, Pg.33  
Parcel Map No. 91-5 - Bk.52, Pgs.38,39  
Parcel Map No. 91-14 - Bk.54, Pg.12

Parcel Map No. 92-2 - Bk.54, Pg.91  
Silk Oak Estates - Tr. No.4283-Plat Bk.53, Pgs.18,19  
Tract No. 5576 - Bk.77, Pgs. 56-58  
Tract No. 6147 - Bk. 86, Pgs. 44-45

Assessor's Map Bk. 552 - Pg. 17  
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses  
Assessor's Parcel Numbers Shown in Circles



- LEGEND:**
- (A) INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
  - (B) DIRECTION OF STORMWATER FLOW
  - (C) EXISTING POWER POLE TO BE REMOVED
  - PUE PUBLIC UTILITY FACILITY NOW OFFERED FOR DEDICATION FOR PUBLIC USE
  - (D) INDICATES DEDICATED LOT

**EXISTING BUILDINGS**  
EXISTING BUILDINGS TO BE REMOVED

**EXISTING TREES**  
EXISTING TREES TO BE REMOVED

**EXISTING USE**  
LOW DENSITY RESIDENTIAL

**PLANNED LAND USE**  
LOW DENSITY RESIDENTIAL

**PROPOSED USE**  
LOW DENSITY RESIDENTIAL

**EXISTING ZONING**  
R-1-B

**PROPOSED ZONING**  
R-1-B

**SOURCE OF WATER**  
CITY OF CLOVIS

**SOURCE OF SEWAGE DISPOSAL**  
CITY OF CLOVIS

**SOURCE OF WASTE DISPOSAL**  
CITY OF CLOVIS

**SOURCE OF ELECTRICITY**  
CITY OF CLOVIS

**SOURCE OF DATA**  
FIELD INFORMATION

**SOURCE OF GAS**  
PEAC

**SOURCE OF CABLE T.V.**  
CONTACT AT&T

**ASSESSOR'S PARCEL NUMBER**  
552-120-15

**SITE AREA**  
4.45 AC. (192,552)

**4.05 AC. (175,200)**

**NUMBER OF LOTS**  
15

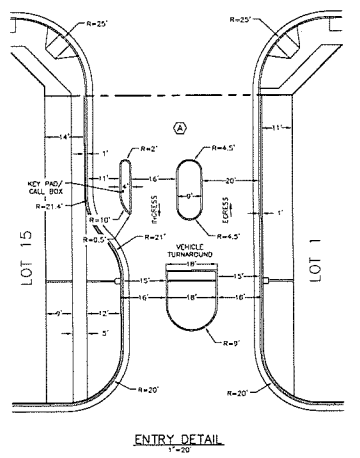
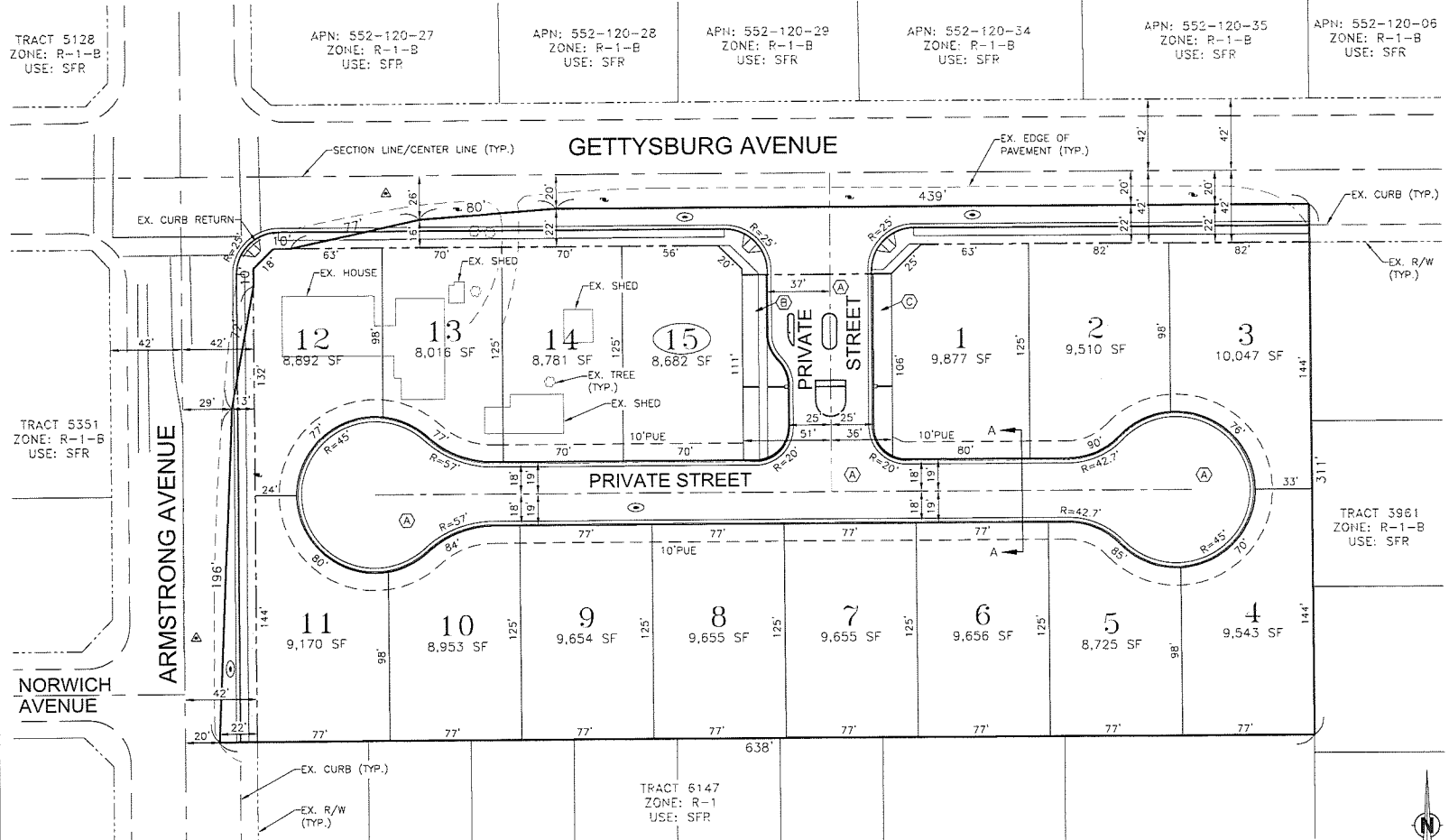
**DENSITY**  
3.70 UNITS PER ACRE

**AVERAGE LOT SIZE**  
3,224 SF

**ADDRESS**  
2843 ARMSTRONG AVENUE  
CLOVIS, CA 95311

**OUTLOT SCHEDULE**  
OUTLET # 15 FOR PRIVATE STREET & PUBLIC UTILITY PURPOSES.  
OUTLET # 16 FOR PRIVATE STREET/PRIVATE UTILITY PURPOSES.  
OUTLET # 17 FOR PRIVATE UTILITY PURPOSES.  
OUTLET # 18 FOR PRIVATE UTILITY PURPOSES & PUBLIC UTILITY PURPOSES.

VESTING  
TENTATIVE SUBDIVISION MAP  
OF  
**TRACT NO. 6403**  
A PLANNED DEVELOPMENT  
IN THE CITY OF CLOVIS  
FRESNO COUNTY, CALIFORNIA



**LEGAL DESCRIPTION:**

THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 13 SOUTH, RANGE 11 EAST, MERIDIAN QUAD 1600 AND MERIDIAN, ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS.

EXCEPT THEREFROM ANY PORTION THEREOF LYING SOUTH OF THE NORTH LINE OF TRACT NO. 6147 ACCORDING TO THE MAP THEREOF FILED FOR RECORD NUMBER 25,2016 IN BOOK 86 OF PLATS, AT PAGE 44 AND 45, FRESNO COUNTY RECORDS.

ALSO EXCEPT THEREFROM ANY PORTION THEREOF LYING EAST OF THE WEST LINE OF TRACT NO. 3981, ASHLEY ESTATES II, ACCORDING TO THE MAP THEREOF FILED FOR RECORD JULY 28, 1989 IN BOOK 49 OF PLATS, AT PAGES 3 AND 4, FRESNO COUNTY RECORDS.

AND ALSO EXCEPT THEREFROM THAT PORTION THAT PORTION AS DOCUMENTED TO THE CITY OF CLOVIS BY GRANT DEED RECORDED JUNE 26, 1988 AS COUNTY NO. 98089788, FRESNO COUNTY RECORDS.

- NOTES:**
1. THERE ARE NO EXISTING ABOVE GROUND USES OR STRUCTURES SUCH AS BUILDINGS, WATER WELLS, POWER LINES, TOWERS, ETC., WITHIN THE PROPOSED SUBDIVISION.
  2. THE AREA IS WITHIN FLOOD ZONE 4.
  3. THERE ARE NO EXISTING UNDERGROUND FEATURES SUCH AS WELLS, CELESTIAL BODIES, CONDUITS, STORM DRAINS, DUMP SITES AND OTHER UNDERGROUND STRUCTURES WITHIN THE PROPOSED SUBDIVISION (EXCEPT AS SHOWN).
  4. THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE TO THE OWNER PROVISION FOR FUTURE ACCESS FOR ANNUAL HEATING OR COOLING OPPORTUNITIES AND OTHER FEATURES THAT CONFORM WITH CALIFORNIA ENERGY EFFICIENCY STANDARDS AS APPLICABLE TO THE SUBDIVISION MAP AND THE LOT IS ORIENTED NORTH AND SOUTH.
  5. ALL UNDERGROUND UTILITIES SHALL BE AS REQUIRED BY THE CITY OF CLOVIS TO BE STAMPAGED AND SHALL INCLUDE GATEWAY SIGN, DOMESTIC WATER, UNDERGROUND POWER, TELEPHONE, GAS, CABLE TV, SEWER, SLOPE, SIDEWALK, PAVEMENT, STREET PAVEMENT, STREET LIGHTS, ETC. (NO SIGN-SHIELDS WILL BE PRIVATE PROPERTY APPROPRIATED BY THE CITY OF CLOVIS).
  6. ONCE UNDERGROUND UTILITIES ARE IN PLACE AND ARE CURRENTLY EXISTING PROPERTY LINES AND WILL NOT EXIST AFTER DEVELOPMENT OF PROJECT GRADING.

**TENTATIVE SUBDIVISION MAP**

OWNER & DEVELOPER  
**GlenEagles Homes, A California Corporation**

PREPARED BY  
**Harbour & Associates**  
Civil Engineers  
1300 Oakridge Dr., Suite 200 • Clovis, California 95312  
(559) 285-7070 • Fax: (559) 285-7071 • www.harbourandassociates.com

DATE: 3-8-22 SCALE: 1"=30' DRAWN BY: SH

REVISIONS	SHEET NO.
	1
	OF
	1

TRACT 5128  
ZONE: R-1-B  
USE: SFR

552-120-27

APN: 552-120-28  
ZONE: R-1-B  
USE: SFR

552-120-29

APN: 552-120-30  
ZONE: R-1-B  
USE: SFR

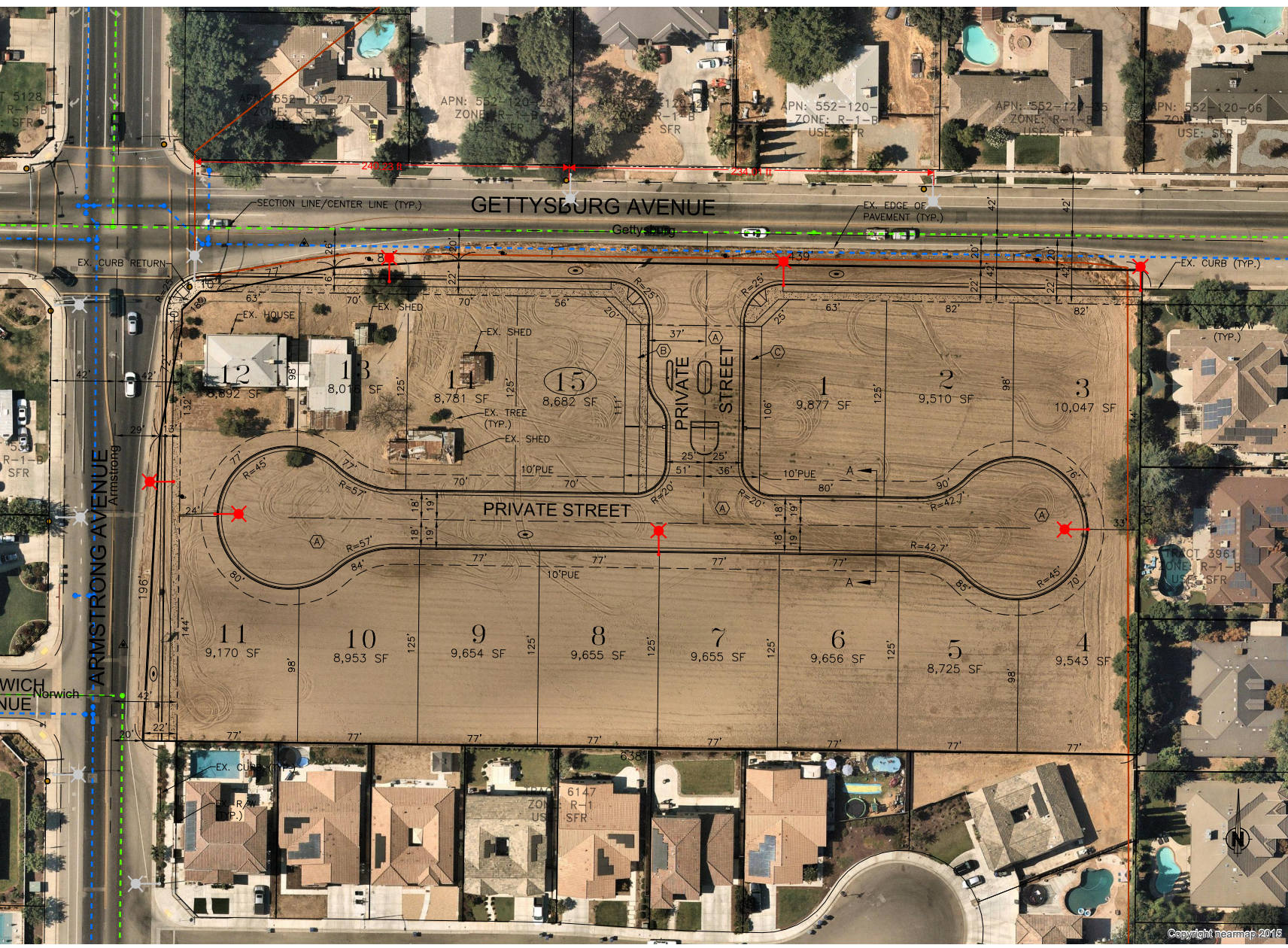
APN: 552-120-31

APN: 552-120-06  
ZONE: R-1-B  
USE: SFR

TRACT 53  
ZONE: R-1-B  
USE: SFR

TRACT 3961  
ZONE: R-1-B  
USE: SFR

NORWICH AVENUE



1" = 60'



**David Merchen**

---

**From:** Mark Woolf <maw211@comcast.net>  
**Sent:** Thursday, June 23, 2022 3:17 PM  
**To:** David Merchen  
**Subject:** Re: [External] Re: McDonald Tract Map

Dave -

Single story homes on these lots would obviously be best for us. An ADU is not a concern because it would single level and there would be no line of sight into our yard. Our concern would be the ability for someone to peer into our backyard from a second story window or balcony. If the lot was deeper it would allow for more distance between the house and the back fence, possibly eliminating the "line of sight". The minimum lot depth for R-1-B is 110' and would most likely be more than 110' depending on the lot width. I think any future buyer of our home would have the same concern therefore impacting our ability to sell our home at its true market value, at some point in the future. People value their privacy.

Seems as if the Developer has the upper hand in this situation and the City plans on letting them do whatever they want.

I do appreciate your time in researching and sharing this information.

Best Regards;

On 6/22/2022 8:19 AM, David Merchen wrote:

Hi Mark,

I have a couple of updates for you on the subdivision map we discussed.

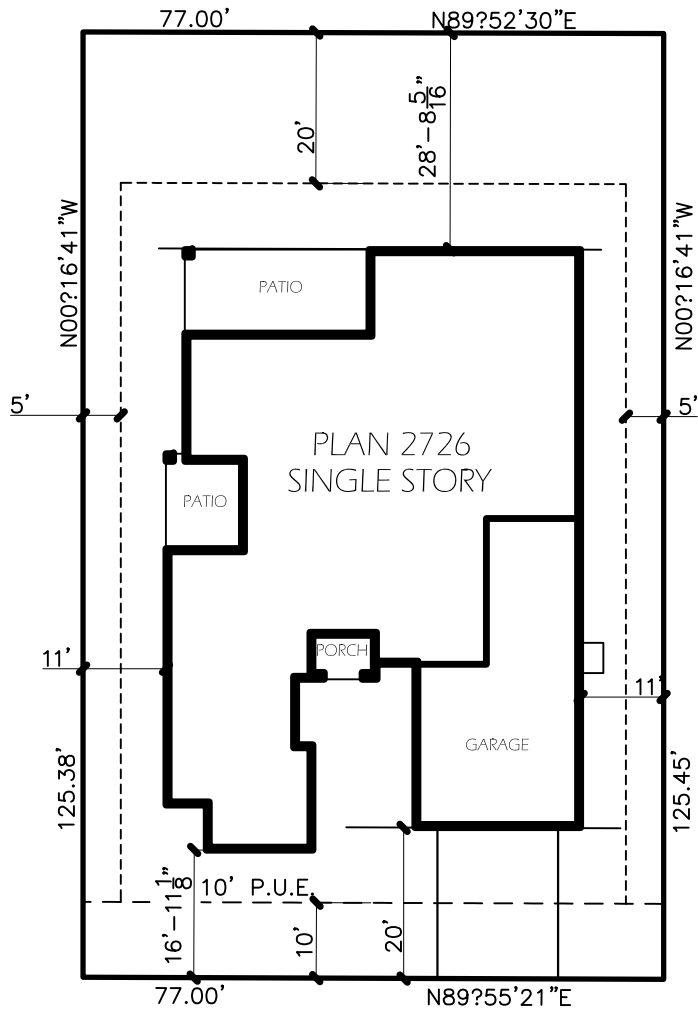
First, the applicant has requested a continuance of the item to the July 28<sup>th</sup> Planning Commission meeting due to some scheduling issues on their end. Therefore, the Planning Commission won't consider the item until July 28<sup>th</sup>. There won't be another notice mailed out, so you should put the July 28<sup>th</sup> meeting on your calendar if you'd like to provide comments at the meeting.

Second, I spoke to the applicant's representative regarding your concern about home placement, and he provided an exhibit showing how the largest single story and largest two story homes would fit on Lots 8 and 9 (see attached). They aren't able to confirm which units will go on which lots, but this exhibit shows how they think the largest homes of each type would fit on those lots. The back yards are a good size. The Keep in mind that just about every single family residential lot in California is eligible to put an accessory dwelling unit (ADU) on their lot as a permitted use, with setbacks as small as 4' on the side and rear property lines, though they are generally limited to single story units. This is a state law that the City can't change.

Let me know if you would like to discuss further.

Thanks.

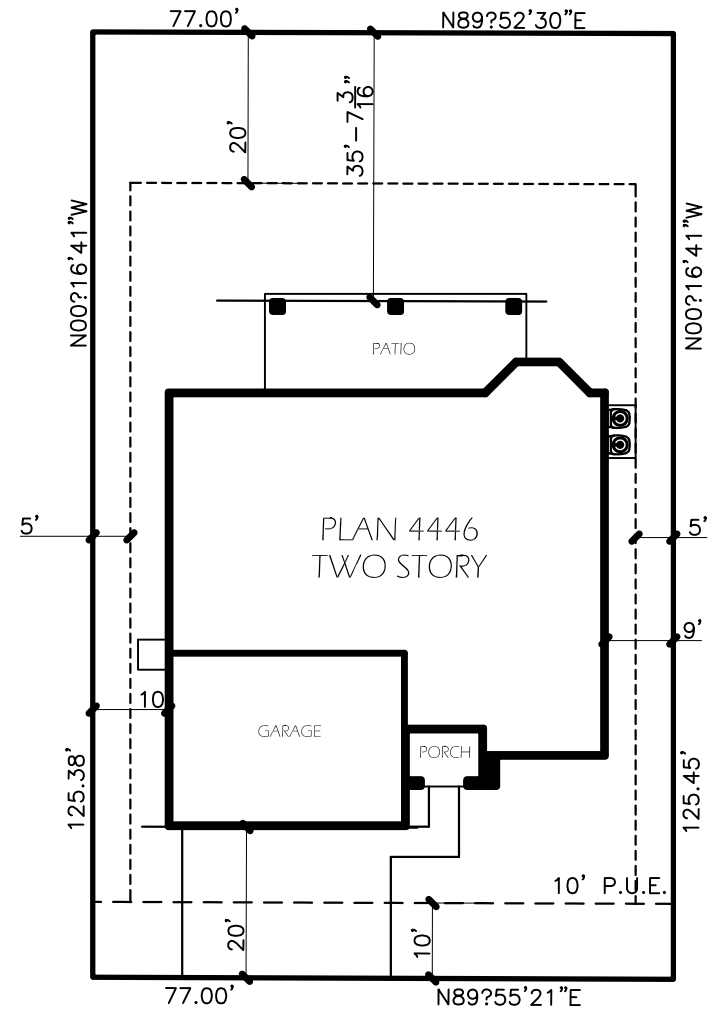
Dave



LOT # 09 TRACT # 6403  
ADDRESS:  
SPN#



SCALE 1"=20'-0"



LOT # 08 TRACT # 6403  
ADDRESS:  
SPN#



SCALE 1"=20'-0"



**Dave Merchen | City Planner**

City of Clovis | Planning Division  
 p. 559.324.2346 | c. 559.765-7509  
[davidm@cityofclovis.com](mailto:davidm@cityofclovis.com)

---

**From:** David Merchen  
**Sent:** Monday, June 20, 2022 9:34 AM  
**To:** 'Mark Woolf' <[maw211@comcast.net](mailto:maw211@comcast.net)>  
**Subject:** RE: [External] Re: McDonald Tract Map

Hi Mark,

I will provide your email to the Planning Commission as written comments regarding the project. The email will become public information and be part of the record.

I will also discuss your concern with the developer and see if we can get the information you are requesting. If I receive a response I will let you know.

Thanks.

Dave



**Dave Merchen | City Planner**

City of Clovis | Planning Division  
 p. 559.324.2346 | c. 559.765-7509  
[davidm@cityofclovis.com](mailto:davidm@cityofclovis.com)

---

**From:** Mark Woolf <[maw211@comcast.net](mailto:maw211@comcast.net)>  
**Sent:** Monday, June 20, 2022 8:36 AM  
**To:** David Merchen <[davidm@ci.clovis.ca.us](mailto:davidm@ci.clovis.ca.us)>  
**Subject:** [External] Re: McDonald Tract Map

Dave -

I appreciate you calling, talking with me and the information you sent.

Please consider this email reply as my response to the Public Notice regarding the Development of the SE corner of Gettysburg and Armstrong Avenues in Clovis. As discussed, I have some concerns about the plan based on the tract map you sent. When I purchased my Home 5 years ago I did my due diligence and researched the zoning of the property behind me knowing that it would eventually be developed. The R-1-B zoning made me feel more comfortable with my purchase, knowing that lot sizes of at least 12,000 square feet (e.g. 100' x 120') meant that there was a high probability that the lot widths would allow for larger single story homes to be built behind us. Based on the Tract map you sent the the 77' lot width will only allow for two story homes to be built behind us. Our Home is lot #4 of Tract 6147 (2237 Donner Ave.). Our lot backs up to lots #8 & 9 of the proposed New Tract. I have serious concerns about

the impact to our privacy and the future property value of our home if large two story homes on the lots behind us. If possible, I would like to know the placement of the Homes on these lots (distance from the back fence). If there is something else I should do to officially register my concerns, please let me know?

Also, if you are aware of any options that may negate my concerns, I would appreciate it?

Best Regards;

On 6/16/2022 7:17 PM, David Merchen wrote:

Hi Mark,

A copy of the proposed subdivision map at Gettysburg and Armstrong is attached.

By late tomorrow afternoon, the staff report for this project should be available for review at the link below. Scroll down until you see the list of meetings, and then you'll want to select the "Packet" for the June 23, 2022 meeting.

<https://link.edgepilot.com/s/127a8786/sYC9hfaQT0mtgQLimLxzPw?u=https://cityofclovis.com/planning-and-development/planning/planning-commission/planning-commission-agendas/>

Let me know if you have any questions.

Thanks.

Dave



**Dave Merchen | City Planner**

City of Clovis | Planning Division  
1033 Fifth Street, Clovis, CA 93612  
p. 559.324.2346 | c. 559.765-7509  
[davidm@cityofclovis.com](mailto:davidm@cityofclovis.com)

This e-mail may contain confidential and privileged material for the sole use of the intended recipient. Any review, use, distribution or disclosure by others is strictly prohibited. If you are not the intended recipient (or authorized to receive for the recipient), please contact the sender by reply e-mail and delete all copies of this message.

Links contained in this email have been replaced. If you click on a link in the email above, the link will be analyzed for known threats. If a known threat is found, you will not be able to proceed to the destination. If suspicious content is detected, you will see a warning.